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Tuesday, 1 January 2019

To: The Members of the **Planning Applications Committee**  
(Councillors: Edward Hawkins (Chairman), Valerie White (Vice Chairman), Nick Chambers, Mrs Vivienne Chapman, Colin Dougan, Surinder Gandhum, Jonathan Lytle, Katia Malcaus Cooper, David Mansfield, Max Nelson, Adrian Page, Robin Perry, Ian Sams, Conrad Sturt, Pat Tedder and Victoria Wheeler)

**In accordance with the Substitute Protocol at Part 4 of the Constitution, Members who are unable to attend this meeting should give their apologies and arrange for one of the appointed substitutes, as listed below, to attend. Members should also inform their group leader of the arrangements made.**

Substitutes: Councillors David Allen, Bill Chapman, Ruth Hutchinson, Paul Ilnicki, Rebecca Jennings-Evans and John Winterton

#### Site Visits

**Members of the Planning Applications Committee and Local Ward Members may make a request for a site visit. Requests in writing, explaining the reason for the request, must be made to the Development Manager and copied to the Executive Head - Regulatory and the Democratic Services Officer by 4pm on the Thursday preceding the Planning Applications Committee meeting.**

Dear Councillor,

A meeting of the **Planning Applications Committee** will be held at Council Chamber, Surrey Heath House, Knoll Road, Camberley, GU15 3HD on **Thursday, 10 January 2019 at 7.00 pm**. The agenda will be set out as below.

Please note that this meeting will be recorded.

Yours sincerely

Karen Whelan

Chief Executive

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#### AGENDA

	Pages
<b>1 Apologies for Absence</b>	
<b>2 Minutes of Previous Meeting</b>	<b>3 - 8</b>

To approve as a correct record the minutes of the meeting of the Planning Applications Committee held on 13 December 2018.

### **3 Declarations of Interest**

Members are invited to declare any disclosable pecuniary interests and non pecuniary interests they may have with respect to matters which are to be considered at this meeting. Members who consider they may have an interest are invited to consult the Monitoring Officer or the Democratic Services Manager prior to the meeting.

### **Human Rights Statement**

The Human Rights Act 1998 (the Act) has incorporated part of the European Convention on Human Rights into English law. All planning applications are assessed to make sure that the subsequent determination of the development proposal is compatible with the Act. If there is a potential conflict, this will be highlighted in the report on the relevant item.

### **Planning Applications**

<b>4</b>	<b>Application Number: 18/0616 - 18 &amp; 18a, Tekels Park, Camberley, GU15 2LF *</b>	<b>9 - 32</b>
<b>5</b>	<b>Application Number: 18/0499 - 45 Guildford Road, Bagshot, GU19 5JW</b>	<b>33 - 62</b>
<b>6</b>	<b>Application Number: 18/0513 - 45 Guildford Road, Bagshot, GU19 5JW</b>	<b>63 - 90</b>

**\* indicates that the application met the criteria for public speaking**

### **Glossary**

**Minutes of a Meeting of the Planning Applications Committee held at Council Chamber, Surrey Heath House, Knoll Road, Camberley, GU15 3HD on 13 December 2018**

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- + Cllr Edward Hawkins (Chairman)
- + Cllr Valerie White (Vice Chairman)

- |                             |                         |
|-----------------------------|-------------------------|
| Cllr Nick Chambers          | - Cllr Max Nelson       |
| + Cllr Mrs Vivienne Chapman | + Cllr Adrian Page      |
| - Cllr Colin Dougan         | + Cllr Robin Perry      |
| + Cllr Surinder Gandhum     | + Cllr Ian Sams         |
| + Cllr Jonathan Lytle       | - Cllr Conrad Sturt     |
| + Cllr Katia Malcaus Cooper | + Cllr Pat Tedder       |
| - Cllr David Mansfield      | + Cllr Victoria Wheeler |
- + Present
- Apologies for absence presented

\*Cllr Surinder Gandhum was present from Minute 36/P to 38/P.

Substitutes: Cllr Paul Ilnicki (in place of Cllr Colin Dougan) and Cllr John Winterton (in place of Cllr David Mansfield)

Members in Attendance: Cllr Alan McClafferty

Officers Present: Ross Cahalane, Gareth John, Jonathan Partington, Jenny Rickard, Eddie Scott.

**36/P Minutes of Previous Meeting**

The Minutes of the meeting held on 15 November 2018 were confirmed and signed by the Chairman.

**37/P Application Number: 18/0632- Gordon's School, Bagshot Road, West End, Woking, GU24 9PT**

The application was for the erection of a new sports hall including changing facilities, cafe, first aid room and storage and an outdoor all weather sports pitch with associated fencing, floodlighting, landscaping and revised access routes utilising existing vehicular access from Bagshot Road (A319). (Additional information recv'd 13/7/18).

Members were advised of the following updates and the referenced appendix published with the supplementary agenda papers:

“Further appended evidence of interest from local sports clubs has been provided by the applicant including emails from Curley Park Rangers, Windlesham FC, Woking Cougars, Windlesham United, Bagshot FC and Valley End Cricket Club (Appendix I).

The applicant states that the above constitutes a small number of the emails received requesting use of the school facilities, and other enquiries have also come through as telephone messages for further use of facilities for basketball, flood-lit tennis and netball - these requests vary from youth groups to local adult groups.

#### Officer comments

Condition 4 on page 21 requiring the submission of a Community Use Agreement (CUA) prior to commencement would secure the use of the proposal by these local groups. CUAs are widely used by Sport England and they provide a template CUA on their website. Typically such an agreement is signed by all parties and includes a Management Committee to develop the community use of the facilities; marketing strategy; affordable pricing arrangements; and, a monitoring and review mechanism.

Condition 4 is proposed to be re-worded as highlighted below, to clarify that it applies to both the AWP and the sports hall:

*Use of the sports hall building and 3G rubber crumb pitch hereby approved shall not commence until a Community Use Agreement prepared in consultation with Sport England has been submitted to and approved in writing by the Local Planning Authority.*

*The agreement shall apply to the 3G pitch facility **and the sports hall building**, and include details of pricing policy, hours of use, access by non-educational establishment users, management responsibilities and a mechanism for review. The development shall not be used otherwise than in strict compliance with the approved agreement.*

The below advisory informative is also proposed to be added:

*Guidance on preparing Community Use Agreements is available from Sport England: <http://www.sportengland.org/planningapplications>.*

*For artificial grass pitches it is recommended that you seek guidance from the Football Association/England Hockey/Rugby Football Union on pitch construction when determining the community use hours the artificial pitch can accommodate.”*

Members wanted to ensure that the development maintained a focus on sports provision and not on commercial use. Consequently, a condition was added to the officer’s recommendation to prescribe that the proposed café remained ancillary in relation to the Sports Hall’s main sports use.

The recommendation to approve the application was proposed by Councillor Mrs Vivienne Chapman and seconded by Councillor Jonathan Lytle. The recommendation was put to the vote and carried.

#### **RESOLVED that**

- I. Application 18/0632 be granted subject to the conditions set out in the officer report as amended;**

- II. **With the final wording on the new condition be delegated to the Head of Regulatory in consultation with the Chairman and Vice Chairman of the Planning Applications Committee; and**
- III. **The application be referred to the Secretary of State due to a departure from the Development Plan.**

**Note 1**

It was noted for the record that:

- I. Councillor Victoria Wheeler declared that she was a member of a net ball club, which used the existing facilities and which had made an informal representation on the application.
- II. Councillor Katia Malcaus Cooper declared that her children went to Barracudas Activity Day Camps held at Gordon's School.
- III. Councillor Alan McClafferty in his role as a Surrey Heath Borough Councillor spoke on the application and declared that he was a trustee of Gordon's School.

**Note 2**

In accordance with Part 4, Section D, paragraph 18 of the Constitution, the voting in relation to the application was as follows:

Voting in favour of the recommendation to grant the application:

Councillors Mrs Vivienne Chapman, Surinder Gandhum, Edward Hawkins Paul Ilnicki, Jonathan Lytle, Katia Malcaus Cooper, Adrian Page, Robin Perry, Ian Sams, Pat Tedder, Victoria Wheeler, John Winterton and Valerie White.

**38/P Application Number: 18/0491- Units 1-5 Admiralty Way, Camberley, GU15 3DT**

The application was for the replacement two storey building for use as car sales with revised vehicular access from Admiralty Way, roof deck parking, ancillary vehicle repairs, office space and valet buildings. (Additional information recv'd 2/8/18 & 25/9/18). (Additional plans recv'd 3/10/2018.)

Members were advised of the following updates:

"i) The applicant has requested that Condition 4 be re-worded to directly refer to the submitted Arboricultural Impact Assessment and Arboricultural Method Statement, rather than the general term of Arboricultural Report. It is therefore proposed to re-word Condition 4 as follows:

*The development hereby permitted shall be carried out wholly in accordance with the submitted **Arboricultural Survey, Arboricultural Impact Assessment and Arboricultural Method Statement** prepared by Viewpoint Associates [unnamed consultant] and dated 21 May 2018. No development shall commence until digital photographs have been provided by the retained Consultant and forwarded to and approved by the Council's Arboricultural Officer. This should record all aspects of any facilitation tree works and the physical tree and ground protection measures having been implemented and maintained in accordance with the Arboricultural*

*Report. The tree protection measures shall be retained until completion of all works hereby permitted.*

ii) Condition 11 is proposed to be re-worded to reflect the submitted Construction Transport Management Plan that has now been deemed acceptable in writing by Surrey County Highway Authority:

***The enabling works to the development hereby approved shall be undertaken in accordance with the Enabling Works Construction Transport Management Plan [McAuliffe - October 2018]. No construction of the buildings hereby approved shall take place until a further Method of Construction Statement, to include details of:***

*(a) parking for vehicles of site personnel, operatives and visitors*

*(b) loading and unloading of plant and materials*

*(c) storage of plant and materials*

*(d) measures to prevent the deposit of materials on the highway*

*(e) on-site turning for construction vehicles*

*has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction period.*

iii) The applicant has also requested that Condition 20 be changed to pre-occupation, as the final lighting specification may not be available until a contractor is appointed. Officers consider this acceptable and as such it is proposed to re-word Condition 20 as follows:

***Prior to first occupation of the development hereby approved, a Sensitive Lighting Management Plan must be submitted to and agreed upon in writing by the Local Planning Authority. The proposed development shall be undertaken in accordance with the agreed Sensitive Lighting Management Plan alongside the submitted Extended Phase 1 Habitat Survey Report [Viewpoints Associates LLP] dated 21 May 2018, unless otherwise agreed upon in writing by the Local Planning Authority.***

The Committee requested a that condition be added to the officer's recommendation to dictate that the valet building would only be used in connection to the proposed car sales and vehicle repair businesses.

The recommendation to grant the application was proposed by Councillor Adrian Page, seconded by Councillor Katia Malcaus Cooper and put to the vote and carried.

**RESOLVED that application 18/0491 be granted subject to the conditions set out in the officer's report, as amended.**

**Note 1**

In accordance with Part 4, Section D, paragraph 18 of the Constitution, the voting in relation to the application was as follows:

Voting in favour of the recommendation to grant the application:

Councillors Mrs Vivienne Chapman, Surinder Gandhum, Edward Hawkins Paul Ilnicki, Jonathan Lytle, Katia Malcaus Cooper, Adrian Page, Robin Perry, Ian Sams, Pat Tedder, Victoria Wheeler, John Winterton and Valerie White.

**39/P Application Number: 18/0709- Bourne Holdings, Broadway Road, Windlesham, Lightwater, GU18 5SH**

The application was for the removal of condition 7 of 94/0998 requiring agricultural occupancy of the bungalow at Bourne Holdings and discharge of the section 52 agreement under 87/1324 which restricted the use of the site to agriculture and the parking of two HGV vehicles.

The application would have normally been determined under the Council's Scheme of Delegation, however, it had been called in for determination by the Planning Applications Committee at the request of Councillor Surinder Gandhum, as the property was subject to an agricultural tie.

Members were advised of the following updates and an appendix published with the supplementary agenda papers:

"i) An additional site plan (scale 1:1250) has been provided by the applicant to define the existing residential curtilage of the dwelling, and a reduced sized plan has been attached for convenience (Appendix II). The proposed Condition 2 would remove permitted development rights for all extensions and outbuildings within this defined residential curtilage. Additional planning permission would also be required for any further development within the land outside this curtilage.  
ii) Two additional representations have been received on behalf of Windlesham Arboretum, raising the following additional concerns:

- It is not clear how the Council's Agricultural Consultant has arrived at the discount of 25-30%
- The property has never been marketed for the lower advised rate of £1million
- The house has never been placed on the market on its own, to be available for an agricultural worker without the encumbrance and extra costs of the adjacent holding (which adds £500,000 to the sale cost)
- The conclusions of the Council's Agricultural Consultant are therefore not evidence-based

Officer comment:

There are no local or national planning policies or guidance that advise of specific market discount rates, or that agricultural sites should be subdivided for separate marketing exercises. The tests considered relevant in this case are already outlined in Paragraphs 7.3.1 – 7.3.10 of the Committee Report (Pages 71-73).

Furthermore, no evidence of an identified need for agricultural workers dwellings has been identified or provided, and this was also one of the considerations of the Inspector in allowing the recent appeal within the Borough attached in the Annex A (Page 79, Paragraph 9). It is therefore considered unlikely that subdividing the site

between the dwelling and the adjacent land for additional marketing exercises would attract additional interest from persons compliant with the agricultural condition.

iii) Officers have also had sight of representation made by Cllr Gandhum emailed to all Committee Members on 10 December.

Officer comment:

Even if livestock were grazing on the land in 2012/13, this is not fatal to the application as it is seeking planning permission for removal of the occupancy condition, not a lawful development certificate application which would be reliant on the "ten year rule". The application site will remain in the Green Belt, irrespective of the determination of this application.

All other planning issues raised have already been addressed above or within the Committee Report."

The recommendation to grant the application was proposed by Councillor Adrian Page and seconded by Councillor Robin Perry, put to the vote and carried.

**RESOLVED that application 18/0709 be granted subject to the conditions set out in the officer's report.**

**Note 1**

It was noted for the record that:

- I. Councillor John Winterton declared that he had been in email correspondence with the applicant and discussed procedural matters with the applicant on the application site.
- II. Councillor Victoria Wheeler declared that she had received email correspondence from Councillors in regard to the application.

**Note 2**

In accordance with Part 4, Section D, paragraph 18 of the Constitution, the voting in relation to the application was as follows:

Voting in favour of the recommendation to grant the application:

Councillors Mrs Vivienne Chapman, Edward Hawkins Paul Ilnicki, Jonathan Lytle, Katia Malcaus Cooper, Adrian Page, Robin Perry, Ian Sams, and John Winterton.

Voting against the recommendation to grant the application:

Councillors Pat Tedder, Victoria Wheeler and Valerie White.

Chairman

2018/0616

Reg Date 13/08/2018

Town

**LOCATION:** 18 & 18A TEKELS PARK, CAMBERLEY, GU15 2LF  
**PROPOSAL:** Erection of a detached three storey building to comprise 10 two bedroom apartments, associated parking, access, stores and landscaping. All following demolition of existing semi-detached dwellings. (Amended plan rec'd 28/11/2018.)  
**TYPE:** Full Planning Application  
**APPLICANT:** Lux Homes Ltd  
**OFFICER:** Mr N Praine

**RECOMMENDATION: GRANT subject to conditions and completion of a legal agreement.**

## 1.0 SUMMARY

- 1.1 This application seeks planning permission for the erection of a detached part three storey / part two-storey building to comprise 10 two bedroom apartments with associated parking, access, stores and landscaping, following demolition of the existing semi-detached dwellings.
- 1.2 The principle of residential development in this location is supported and established through previous planning applications. The layout, scale, form, density and design would be appropriate for this location, particularly recognising the importance of the site to respond to the spaciousness and verdant attributes of the Wooded Hills Character Area and its immediate setting within the street scene. The amenity of surrounding neighbours and future occupiers are considered acceptable and the parking and highway arrangements are also considered acceptable.
- 1.3 There is a need for smaller households and the housing mix is policy compliant. Following submission of a viability report, which has been subject to independent review, a financial contribution of £26,960 in lieu of on-site affordable housing has been agreed. Therefore and subject to a legal agreement to secure the affordable housing and SAMM payments, the application is recommended for approval.

## 2.0 SITE DESCRIPTION

- 2.1 The linear shaped application site relates to a piece of pocket woodland located within the settlement of Camberley. The 0.4 hectare site is located to the southern end of Tekels Park and backs on to the M3 motorway. It measures approximately 150 wide at the front of the site increasing to nearer 180m wide to the rear of the site and approximately 80m deep on the western side slowly decreasing to approximately 20m deep on its eastern side. The site lies within the Wooded Hills Character Area as defined in the Western Urban Area Character SPD 2012. The land rises from south to north and the trees within the site are protected under woodland Tree Preservation Order 05/00.

- 2.2 The site currently comprises a two storey building (pair of semi-detached properties) with outbuildings. These existing buildings are run down and have suffered from vandalism and arson. The existing dwellings measure approximately 21m in width and 8m in height. To the north, 2 storey dwellings (with accommodation in the roof space exist) and to the south is the M3 motorway. To the west two storey residential dwellings in Tekels Park can be found and woodland with the dwellings in Castle Road beyond is located to the east.

### **3.0 RELEVANT PLANNING HISTORY**

- 3.1 SU/16/1115 Erection of two, 2 storey buildings with accommodation in the roofspace to comprise one detached dwelling house and two semi-detached dwelling houses with associated parking, access and works. Following demolition of existing semi-detached dwellings.

*Approved 04/04/2017, extant but not implemented. (With this approved scheme, plot 1 had a maximum footprint of 12m by 12.75m with a maximum height of the dwelling at 9.2 metres. Plots 2 and 3 as a semi-detached pair had a maximum footprint of 11m by 18m with the maximum height of the dwellings at 8 metres.)*

### **4.0 THE PROPOSAL**

- 4.1 Permission is sought for the erection of a detached part three storey / part two storey building to comprise 10 two bedroom apartments, associated parking, access, bin / cycle stores and landscaping. Following demolition of the existing semi-detached dwellings.
- 4.2 The proposed building would be contemporary in design with materials featuring contrasting Corten Steel Panel and Siberian Larch panels and a flat roof. The Corten steel is a weathered steel façade that has the appearance of natural rust, producing a bronze oxide finish. The Siberian Larch contrasts this steel with a muted grey tone. Due to the changes in land levels from north to south the proposed building would read primarily as a two storey building from the streetscape and public vantage points but would have the appearance of a three storey building to the rear.
- 4.3 Vehicular access is proposed from Tekels Park to the immediate north east of the proposed building with a formal parking area for 12 vehicles. External balconies or private terrace areas are proposed and the proposed building would have a width of approx. 38m and depth of approx. 15m. The height of the building would be approx. 9.5m at its highest points. In addition a single storey bin and cycle store of approximately 2m high, 6m wide and 5m deep is also proposed to the eastern side of the proposed building. Existing trees and other landscape features around the boundaries of the site are to be retained and new landscaping is also proposed to enhance the appearance of the development across the site.

## 5.0 CONSULTATION RESPONSES

- |  |   |
|--|---|
| 5.1 Council Senior Environmental Health Officer (EHO): | No objection, subject to condition [See Paragraph 7.4]                                |
| 5.2 County Highway Authority:                          | No objection [See Paragraph 7.5]  |
| 5.3 Viability Consultant:                              | Comments [See Paragraph 7.8]  |
| 5.4 Arboricultural Officer:                            | No objection, subject to condition [See Paragraph 7.3]                                |
| 5.5 Surrey Wildlife Trust                              | No objection, subject to condition [See Paragraph 7.9]                                |
| 5.6 Thames Water                                       | No objection subject to informative.  |
| 5.7 Housing Needs Officer                              | No objection subject to a financial contribution toward affordable housing provision. |

## 6.0 REPRESENTATION

- 6.1 At the time of preparation of this report, 32 representations of objection and no letters of support have been received. The letters of objection raise the following concerns:
- Negative impact upon the safe flow of traffic in Tekels Avenue / Tekels Park [Officer comment: see paragraph 7.5 below]
  - Negative impact upon pedestrians using Tekels Avenue / Tekels Park [Officer comment: see paragraph 7.5 below]
  - Negative impact of construction traffic on Tekels Avenue / Tekels Park [Officer comment: see paragraph 7.5 below]
  - Lack of parking [Officer comment: see paragraph 7.5 below]
  - Out of keeping with the established character of Tekels Park and Wooded Hills Character Area [Officer comment: see paragraph 7.3 below]
  - There is no demand for 2 bed units [Officer comment: see paragraph 7.8 below]
  - Negative impact upon local wildlife [Officer comment: see paragraph 7.9 below]
  - Loss of trees [Officer comment: see paragraph 7.3 below]
  - Loss of Privacy [Officer comment: see paragraph 7.4 below]
  - Over development [Officer comment: see paragraph 7.4 below]

- Negative impact on neighbouring amenity [*Officer comment: see paragraph 7.4 below*]
- The proposal breaches planning guidance in respect to density at this site [*Officer comment: see paragraph 7.2 below*]

## **7.0 PLANNING CONSIDERATIONS**

7.1 In this case the relevant policies are CP1, CP2, CP3, CP5, CP6, CP14, DM9 and DM11 of the Surrey Heath Core Strategy and Development Management Policies Document 2012 (CSDMP). It will also be considered against the Western Urban Area Character SPD 2012 (WUAC), the Residential Design Guide Supplementary Planning Document (RDG) SPD 2017, and the National Planning Policy Framework (NPPF) 2018. The Infrastructure Delivery Supplementary Planning Document (2014), Thames Basin Heaths SPA Avoidance Strategy (2012) and saved Policy NRM6 of the South East Plan are also material considerations to the determination of this application. The extant approval SU/16/0115 (see paragraph 3.1 above), is also a material consideration and this is considered in more detail below at paragraphs 7.2 and 7.3. The main planning issues, therefore, in the determination of this application are:

- The principle of the development;
- The impact on the character of the area including trees;
- The impact on amenities of neighbouring properties and future occupiers;
- The impact on highway safety and parking;
- The impact on local infrastructure;
- The impact on Thames Basin Heaths SPA;
- Affordable housing and housing mix, and:
- Other matters.

### **7.2 Principle of the development**

7.2.1 The principle of residential redevelopment has been established through the extant approval SU/16/115 (see paragraph 3.1 above). Therefore given the absence of a demonstrable 5 year housing supply, and Policy CP1 of the CSDMP which promotes housing in the western end of the Borough and CP3 which promotes the effective use of land including previously developed land in settlement areas, it is considered that the principle of the housing development is acceptable subject to the detailed consideration and balanced assessment of the issues as set out below.

### **7.3 Impact on character of the area including trees**

- 7.3.1 Policy CP2 (iv) of the CSDMP states that development should ensure that all land is used efficiently in the context of its surroundings. Policy DM9 states that development should respect and enhance the local, natural and historic character of the environment, paying particular regard to scale, materials, massing, bulk and density. Both of these policies are reflective of section 12 of the NPPF which seeks to achieve well designed places.
- 7.3.2 Tekels Park is part of the Wooded Hills Character Area as defined by WUAC SPD. The Wooded Hills is characterised by hilly areas, large irregular plots, winding roads/lanes, heavy vegetation and a scattering of Victorian/Edwardian buildings, the SPD identifies that this area has a semi-rural residential character, despite its proximity to Camberley Town Centre. Dense vegetation is one of the key characteristics, large trees, hedges and mature vegetation give the area a dominant soft, green character. The SPD also sets out that the Character Area has a number of mixed pockets which include post war and contemporary designs which gives a mixed character of the area. Existing buildings are substantial and they broadly sit in generous plots.
- 7.3.3 Principle WH1 of the WUAC SPD states that, new development should be set in spacious, irregularly shaped plots which provide for extensive space between, and around the buildings and which allows for the maintenance/ development of a verdant character. WH1 continues to advise that development should consist principally of 2 storey detached buildings set in individual plots enclosed by verdant vegetation. WH1 seeks to also retain existing large trees and mature vegetation with the provision of substantial new landscape features in the form of large trees, shrubs and tall hedges.
- 7.3.4 The SPD continues to state that proposals with closely set buildings, minimal side gardens, or cramped appearances are considered to be out of keeping with the rural character (WH2). Guiding Principle WH2 also discourages net densities above 9 dwellings per ha. Hard urban landscapes through the introduction of large areas of hard surfacing, will also be resisted (WH3) and high quality contemporary designs will be welcomed where it respects its surroundings (WH6).

#### Layout and scale

- 7.3.5 The extant permission (SU/16/115, see paragraph 3.1 above) complied with these guiding principles of the WUAC. It is therefore reasonable to compare this proposal to the extant permission, summarised in the following table:

	Maximum Height	Maximum Width	Maximum Depth	Distance From Boundaries
Extant permission (SU/16/1115)	9.2m	41m (with an 11m gap)  (Plot 1, 12m wide  Plots 2 and 3, 18m wide)	13.5m	5.75m to the west  10.5m from the northern  100m from the east  38m (average to the southern boundary)
Current Proposal	9.5m	38m main building (+ 6m for the single storey bin and cycle store)	15m	7m to the west  10.5m from the northern  100m from the east  36.5m (average to the southern boundary)

- 7.3.6 It is evident that this current proposal's layout has comparable separation distances to the boundaries and in this respect would maintain the same spaciousness as the extant permission. The parking area is provided to the side, consistent with RDG principles 6.7 and 6.8, and is broken up into smaller clusters reducing the areas of hardstanding and further respecting the verdant character of the area. Likewise generous separation of approximately 12.5m exists between the proposed building and the dwelling house 16a Tekels Park to the west (approximately 1.2m further away than the extant scheme) and over 100m to any buildings sited beyond its eastern boundary. The set back from the road frontage is retained as are the existing mature trees and woodland character to the front and additional landscaping would be introduced (as part of the landscaping scheme, which if minded to approve can be controlled via condition). This spacious, irregularly shaped plot is considered to provide appropriate space between, and around the building and allows for the maintenance (and further development) of the verdant character in accordance with Principle WH1 of the WUAC.
- 7.3.7 Similarly, in terms of scale this proposal has been designed to primarily read as a two storey building from the street facing public vantage points, therefore respecting the height of adjoining buildings. The massing of the proposal would be greater, given that the 11m gap which was shown between the plot 1 and plots

2 / 3 of the extant scheme is not carried forward to the current proposal. However, the provision of a detached building on a single plot will reinforce the character of the area which is defined by large plots with generous spacing to the side, and the setback assists in reducing its perceived impact. Moreover, this proposal avoids the need for plot subdivision unlike the extant permission for three independent dwellings, which included long narrow plots for some of the properties, and wider buildings like the guest house are also already established in the local area.

- 7.3.8 Whilst the proposal would be of a higher density than the extant permission and guiding Principle WH2 of the WUAC discourages net densities above 9 dwellings per ha (with this scheme closer to 20dph), density is only one indicator of whether a development promotes local distinctiveness. In this case it has already been demonstrated how the layout and scale would be comparable to the extant permission and integrate into the spacious and verdant character of the Wooded Hills. It is also important to note that principle 6.4 of the RDG seeks to achieve the highest possible density without compromising local character and paragraph 6.13 advises that it is important to not prescribe acceptable maximum densities for the borough, instead relying on good design to improve living standards and reflect the character of the area.

#### Design, form and detailing

- 7.3.9 The NPPF is clear that variation in architecture is not a reason to refuse when a development integrates into its context. Paragraph 127 of the NPPF states that although planning decisions should ensure that developments are sympathetic to local character and history, including the surrounding built environment and landscape setting, this should not prevent or discourage appropriate innovation or change. Similarly, Principle WH6 of the WUAC welcomes high quality contemporary designs provided they respect their surroundings. To facilitate this, the proposal has been subject to pre-application process and this has sought to ensure that any design response utilises high quality materials and architecturally detailing to respect the semi-rural character of its setting.
- 7.3.10 The choice in materials summarised in paragraph 4.2 of this report serves two purposes: firstly it responds to the woodland setting with the bronzed finished punctuated by the unassuming muted grey larch; and, secondly the contrasting materials break up the mass and physical appearance of the building. This choice in materials gives the building detailing and interest from views near and far. The frontage of the building is also articulated with setbacks and contrasting materials which include the glazed section to break up the visual bulk of the building, this is considered appropriate to avoid an over dominant or incongruous relationship with the surrounding area.
- 7.3.11 Principle 7.5 advises that proposals to introduce roof forms on residential development that diverge from the prevailing character of residential development will be resisted, unless it can be demonstrated that the proposals would make a positive contribution to the streetscape. Although the proposed building's contemporary design includes a flat roof, it is considered that the flat roof form would assist in softening its appearance. Instead of reading as an unrelieved block, the contrast in materials and detailed design provides relief to the eye and adds interest and variation when viewed from the streetscape. This, in the

officer's opinion, amounts to high quality contemporary design which responds to its setting and makes a positive statement within this mixed character area, therefore according with Principle WH6 of the WUAC. Given the significant importance of the materials to the success of this scheme, a planning condition can be imposed to ensure that the proposed external materials are appropriate.

#### Trees and landscaping

- 7.3.12 In the wider context, the area has verdant character. The site is covered by an area TPO (ref 05/00) designated in 2000. The surrounding areas of the site are also covered by TPOs. As such, the application is accompanied by Arboricultural Assessment, Method Statement and a Tree Protection Plan. The report advises that a total of 5 low category trees would be removed to facilitate the development and comprehensive replanting is proposed to compensate for the loss of these trees. The Tree Officer has considered the proposal and states that the trees to be lost are not prominent from any public viewpoints with very little potential to contribute to local character because of the backdrop of large trees to be retained. The Tree Officer raises no objections subject to a replacement planting condition and full compliance with the submitted tree protection reports. The retention and protection of the existing trees and additional planting will ensure the green and verdant character of the area is retained and enhanced.
- 7.3.13 It is therefore considered that the proposed development complies with the design requirements of the NPPF, Policies CP2 and DM9 of the CSDMP, Principles WH1, WH2, WH3 and WH6 of the WUAC and Principles 6.7, 6.8, 7.1, 7.4 and 7.5 of the RDG SPD.

#### **7.4 Impact on amenities of neighbouring properties and future occupiers**

- 7.4.1 Paragraph 127 of the NPPF states that planning decisions should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. Policy DM9 states that development will be acceptable where it respects the amenities of the occupiers of neighbouring properties and uses. Principles 8.1 and 8.3 of the RDG state that, developments which have a significant adverse effect on the privacy of neighbouring properties will be resisted and developments should also not result in occupants of neighbouring dwellings suffering from a material loss of daylight and sun access. Proposals should also not result in neighbouring dwellings suffering from any adverse overbearing impacts.
- 7.4.2 No. 16A Tekels Park to the west is sited approximately 12.5m from the side wall of the proposed building, the proposal is of a similar height to the SU/16/1115 approved plans when viewed from this neighbour and is sited approximately 1.2, further away than this extant scheme (see paragraph 3.1 above). Privacy screens are provided to all balconies and two facing windows above ground floor are proposed, these are secondary windows and subject to conditions to control glazing and openings the proposals are not considered to result in any adverse overlooking and loss of privacy to the above neighbour. The separation distances ensure no overshadowing or overbearing impacts will result from the proposed development to the occupants of number 16A Tekels Park.

- 7.4.3 Nos 21 and 23A Tekels Park are both sited over 30m away from the proposed development. This separation distance is considered to be appropriate to protect the residential amenities which include any overshadowing, overbearing impacts or loss of privacy at these neighbouring dwellings.
- 7.4.4 Given the remaining separation distances to all the other neighbouring dwellings in Tekels Park, it is considered that the proposed development, as a whole, would be sited at sufficient distance from other neighbouring boundaries and habitable windows to avoid adverse harm to residential amenity.
- 7.4.5 Principle 7.6 of the RDG advises that as a minimum, the Council will expect new housing development to comply with the national internal space standards. The overall floor space provision for each of the proposed flats would meet these minimum space standards.
- 7.4.6 Principle 8.2 of the RDG advises that all habitable rooms in new residential development should maintain at least one main window with an adequate outlook to external spaces where nearby man-made and natural features do not appear overbearing or visually intrusive. It is considered that sufficient outlook would be provided for future occupiers of all the proposed units. The proposal complies with this requirement.
- 7.4.7 Principle 8.5 of the RDG advises that developments should provide outdoor amenity space for each unit. In flatted developments, communal open space will be expected. This should be connected to the building; easily accessible to all residents; screened from public view; free of vehicles; located to receive sunlight for a substantial part of the day, and; actively overlooked to provide surveillance and security. Principle 8.6 of the RDG advises that unless conservation, privacy or heritage issues negate against the use of balconies, all flats above ground floor should be provided with balconies and ground floor flats should have access to private amenity space. The proposal complies with this requirement.
- 7.4.8 A noise survey has been provided. The Council's Environmental Health Officer (EHO) has commented that the southern (rear) side of the building faces the M3 motorway which is the dominant noise on site. A planning condition is therefore recommended to ensure that minimum specific acoustic performance is provided for windows, vents and balconies. The EHO also recommends a condition to ensure the submission of details of the mechanical ventilation plant to confirm that noise breakout from its operation does not cause nuisance to neighbours.

## **7.5 Impact on highway safety and parking**

- 7.5.1 Paragraph 108 of the NPPF states that planning decisions should take account of whether safe and suitable access to the site can be achieved for all users. Policy DM11 of the CSDMP states that development which would adversely impact the safe and efficient flow of traffic movement on the highway network will not be permitted unless it can be demonstrated that measures to reduce such impacts to acceptable levels can be implemented.

Policy CP11 of the CSDMP states that new development that generates a high number of trips should be in sustainable locations or be required to demonstrate that it can be made sustainable, and that it should be appropriately located in relation to public transport and the highway network. The proposal is approximately 1 mile from Camberley Town Centre by road.

- 7.5.2 A new access onto Tekels Park is proposed. The proposal provides for 12 no. parking spaces at a ratio of 1.2 spaces per dwelling. The Surrey County Council 'Vehicular and Cycle Parking Guidance' (January 2018) states that in suburban and suburban edge locations, the recommended provision is for 1 space per unit. However, footnote 5 states that visitor parking is 'encouraged' for flats and therefore the two additional spaces have been provided. The applicants also provide one cycle space per dwelling which is also in accordance with County Highway Standards. The County Highway Authority has raised no objections to the proposal, commenting that it has no objections in respect of the wider impact of the proposed development and considers that it would not have a material impact on the safety and operation of the public highway.
- 7.5.3 Given the number and size of the units proposed (10, net increase of 8) and the relative proximity to Camberley Town Centre (1 mile by road), the level of parking is considered appropriate and meets County Highway adopted standards. In respect of Tekels Park and the safe operation of the road, the officer notes that this road (as well as Tekels Avenue) is already well trafficked and in the absence of any compelling evidence of existing accident data or analysis of future harm to road safety, the uplift of 8 net additional dwellings is not considered to adversely impact on the safe operation of the highway network. A pre-commencement condition requiring a Construction Management Plan, however, would be appropriate during the construction period to ensure neighbour amenity is not unduly harmed. On this basis, the Local Planning Authority is satisfied that the proposal would not conflict with the aims of Policy DM11.

## **7.6 Impact on local infrastructure**

- 7.6.1 Surrey Heath's Community Infrastructure Levy (CIL) Charging Schedule was adopted by Full Council on 16 July 2014. As the CIL Charging Schedule came into effect on 01 December 2014, an assessment of CIL liability has been undertaken. Surrey Heath charges CIL on residential developments involving one or more new dwellings through new build. The development is CIL liable with the liability calculated as £151,560. CIL is a land charge that is payable at commencement of works, An informative advising of this will be added.

## **7.7 Impact on Thames Basin Heaths SPA**

- 7.7.1 Policy CP12 states that the Borough Council will ensure that sufficient physical, social and community infrastructure is provided to support development and that contributions in the longer term will be through the CIL Charging Schedule. All of Surrey Heath lies within 5km of the Thames Basin Heaths SPA. The Thames Basin Heaths Special Protection Area Avoidance Strategy SPD 2012 states that no new residential development is permitted within 400m of the SPA. The application site is not within 400m of the SPA but all new development is required to either provide SANG on site (for larger proposals) or for smaller proposals such as this one,

provided that sufficient SANG is available and can be allocated to the development, a financial contribution towards SANG provided, which is now collected as part of CIL. There is currently sufficient SANG available.

- 7.7.2 In addition to the financial contribution towards the mitigation on likely effects of the proposed development on the TBH SPA in terms of SANG, Policy CP14B requires that all new residential development contributes toward SAMM (Strategic Access Management and Monitoring) measures. As this is not included within CIL, a separate financial contribution towards SAMM is required. In this instance a payment of £4,866 is needed. In order to comply with Policy CP14B and Policy NRM6 and the Thames Basin Heaths SPD, this would have to be paid by the applicant before full planning permission can be granted. This is to be secured in a Section 106 agreement between the applicant and the Council.

## **7.8 Affordable housing and housing mix**

- 7.8.1 Policy CP5 requires 20% on site provision of affordable housing, for sites of 5 – 9 units (net). Policy CP6 sets out the need for housing sizes in the borough and indicates the strongest need for 2 and 3-bed properties. The Issues and Options Consultation Draft of the new Local Plan indicates that for market housing, there is still a strong need for 2-bed and 3-bed properties. While this should be given little weight at this stage, it is an indicator as to the ongoing need for certain housing sizes.
- 7.8.2 A viability appraisal report has been provided by the applicant, which concludes that the proposed scheme would be unviable if it provided Affordable Housing on site. The Council's Viability Consultant has formally reviewed this report and has identified a number of potential construction cost savings. Following negotiation, the applicant has offered to provide a financial contribution of £26,960 towards Affordable Housing. The Council's Housing Needs Officer considered that a financial contribution is most appropriate in this case and the figure is agreed by the Council's Viability Consultant. On this basis the contribution is considered acceptable and can be secured through a S106 legal agreement.

## **7.9 Other matters**

- 7.9.1 A biodiversity survey, written by a qualified ecologist, has been submitted as part of this application and the methods of the survey accord with current good practice guidelines. Surveys of this type are valuable in terms of helping to determine whether or not wildlife particularly species with special legislative protection are likely to be present in the locality and if so whether they might be affected by development. The survey concludes that general wildlife including statutorily protected and notable species would not be adversely affected. In addition Surrey Wildlife Trust raises no objection to the proposal subject to the recommendations of the report which can be controlled via planning condition. No objections are therefore raised on these grounds.
- 7.9.2 Any development proposal for new residential development attracting New Homes Bonus payments as set out in Section 70 of the Town and Country Planning Act (as amended by Section 143 of the Localism Act) is a local financial consideration which must be taken into account, as far as they are material to an application, in reaching a decision. Whilst the implementation and completion of the development

will result in a local financial benefit this is not a matter that needs to be given significant weight in the determination of this application.

## **8.0 WORKING IN A POSITIVE/PROACTIVE MANNER**

8.1 In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 38-41 of the NPPF. This included:

- a) Provided or made available pre application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development;
- b) Provided feedback through the validation process including information on the website, to correct identified problems to ensure that the application was correct and could be registered.

## **9.0 CONCLUSION**

9.1 The principle of residential development in this location is supported and established through previous planning applications. The layout and scale is considered to make effective use of previously developed land with a design and density that would not be harmful to but successfully integrate into the wooded character and setting of the street scene. The amenity of surrounding neighbours and future occupiers are considered acceptable and the parking and highway arrangements are also considered acceptable.

## **10.0 RECOMMENDATION**

**GRANT subject to completion of a legal agreement to secure affordable housing and SAMM financial contributions, and the following conditions:**

GRANT subject to the following conditions:-

1. The development hereby permitted shall be begun within three years of the date of this permission.

Reason: To prevent an accumulation of unimplemented planning permissions and in accordance with Section 91 of the Town and Country Planning Act 1990 as amended by Section 51(1) of the Planning and Compulsory Purchase Act 2004.

2. No development shall take place until details and samples of the external materials to be used shall be submitted to and approved in writing by the Local Planning Authority. Once approved, the development shall be carried out using only the agreed materials.

Reason: In the interests of visual amenities of the area and to accord with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

3. The proposed development shall be built in accordance with the following approved plans: 17-J2192-101 B, 17-J2192-100, 17-J2192-107, 17-J2192-102 B, 17-J2192-104 A and 17-J2192-103 B unless the prior written approval has been obtained from the Local Planning Authority.

Reason: For the avoidance of doubt and in the interest of proper planning and as advised in ID.17a of the Planning Practice Guidance.

4. The development shall not be occupied until full details of both hard and soft landscaping works have been submitted to and approved in writing by the Local Planning Authority and these works shall be also carried out as approved, and implemented prior to first occupation.

Reason: To preserve and enhance the visual amenities of the locality in accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

5. With the exception of subsection 2 below, prior to first occupation the following will be implemented:

- 1) Window and door openings in elevations detailed within Table 6 of the submitted Paragon acoustic report (reference 20180709-4198) shall be fitted with acoustic glazing that achieves a minimum dB Rw + Ctr sound reduction stated therein.

- 2) Prior to commencement of the development hereby approved, details are to be submitted to and approved in writing by the LPA of the measures intended to be installed to achieve a level of no more than 55dB<sub>leq</sub> on balconies and on other private amenity areas within the development.

- 3) Self-generated noise from the mechanical ventilation system must meet the guidance given at paragraph 4.36 of Building Regulations Approved Document F (2010) - Means of ventilation. Attenuators should be incorporated to reduce external noise sources to appropriate internal levels. The ventilation system to be designed so that its overall noise level contribution in any living room is no more than 25 dB(A), and in any bedroom no more than 20 dB(A). This includes the combined, total noise levels due to self-generated noise from powered elements, aerodynamic noise, external noise ingress via the system itself and breakout noise levels.

- 4) Details of the mechanical ventilation plant to be submitted to and approved in writing by the LPA showing that noise breakout from its operation does not cause nuisance to neighbours. Note; submission of a BS4142:14 assessment may be required.

Thereafter the glazing and ventilation details shall be retained unless otherwise agreed in writing by the Planning Authority.

Reason: In the interests of residential amenities and to accord with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

6. No development shall commence until a Construction Transport Management Plan, to include details of:
  - (a) parking for vehicles of site personnel, operatives and visitors
  - (b) loading and unloading of plant and materials
  - (c) storage of plant and materials
  - (d) programme of works (including measures for traffic management)
  - (e) provision of boundary hoarding
  - (f) hours of construction
  - (g) measures to prevent the deposit of materials on the highway

has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

7. Before first occupation of the development hereby approved the first and second floor side windows in the west elevation facing 16a Tekels Park shall be completed in obscure glazing and any opening shall be at high level only (greater than 1.7m above finished floor level) and retained as such at all times unless otherwise agreed in writing with the Local Planning Authority.

Reason: In the interests of the amenities enjoyed by neighbouring residents and to accord with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

8. The development hereby permitted shall be carried out wholly in accordance with the submitted Arboricultural Report prepared by Arboricultural assessment & method statement by Barrell Tree Consultancy dated 12th July 2018 reference 17317-AA-AS. No development shall commence until photographs have been provided by the retained Consultant and forwarded to and approved by the Council's Arboricultural Officer. This should record all aspects of tree and ground protection measures having been implemented in accordance with the Arboricultural Report. The tree protection measures shall be retained until completion of all works hereby permitted.

Reason: To preserve and enhance the visual amenities of the locality in accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

9. The development hereby approved shall be undertaken in accordance with the recommendations as outlined in the submitted 'Biodiversity Appraisal', author Andrew McCarthy Ecology, dated November 2016 and 'Ecological Mitigation and Enhancement Plan', author AA Environmental Ltd, dated July 2018. Additionally:

- Any external lighting installed on this development should comply with the recommendations of the Bat Conservation Trusts' document entitled "Bats and Lighting in the UK – Bats and The Built Environment Series"
- If the proposed development involves the removal of dense shrubbery / vegetation, this should be done outside the main bird nesting season (March to August inclusive). If this is not possible and only small areas of dense vegetation are affected, the site could be inspected for active nests by an ecologist immediately prior to clearance works. If any active nests are found they should be left undisturbed with a buffer zone around them, until it can be confirmed by an ecologist that the nest is no longer in use.
- There are known badger setts in the Tekels Park area. The applicant should therefore ensure that construction activities on site have regard to the potential presence of badgers to ensure that badgers do not become trapped in trenches, culverts or pipes. All trenches left open overnight should include a means of escape for any animals that may fall in.

Reason: To ensure the protection of protected species in accordance with Policy CP14 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

10. No trenches, pipe runs for services and drains shall be sited within the Root Protection Area as defined in British Standard 5837: 2012 "Trees in Relation to Design, Demolition and Construction" of any retained tree unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the retention of trees in the interests of the visual amenities of the area and to accord with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

11. No demolition, site clearance or building operations shall commence until tree and ground protection has been installed in accordance with British Standard 5837: 2012 "Trees in Relation to Design, Demolition and Construction" and as detailed within the submitted Arboricultural Report. Tree and ground protection to be installed and retained during the course of the development.

Reason: To ensure the retention of trees in the interests of the visual amenities of the area and to accord with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

Informative(s)

1. Building Regs consent req'd DF5
2. Decision Notice to be kept DS1
3. CIL Liable CIL1
4. There are public sewers crossing or close to the development. If you're planning significant work near Thames Water sewers, it's important that the risk of damage is minimised. Thames Water need to check that your development doesn't reduce capacity, limit repair or maintenance activities, or inhibit the services they provide in any other way. The applicant is advised to read Thames Water's guide 'working near or diverting our pipes'. <https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>.
5. With regard to surface water drainage, Thames Water advises that if the developer follows the sequential approach to the disposal of surface they have no objection. Where the developer, however, proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to their website. <https://developers.thameswater.co.uk/Developing-a-large-site/Apply-and-pay-for-services/Wastewater-services>
6. The proposed development is located within 15m of Thames Waters underground assets, as such the development could cause the assets to fail if appropriate measures are not taken. Please read Thames Water's guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.

<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>.

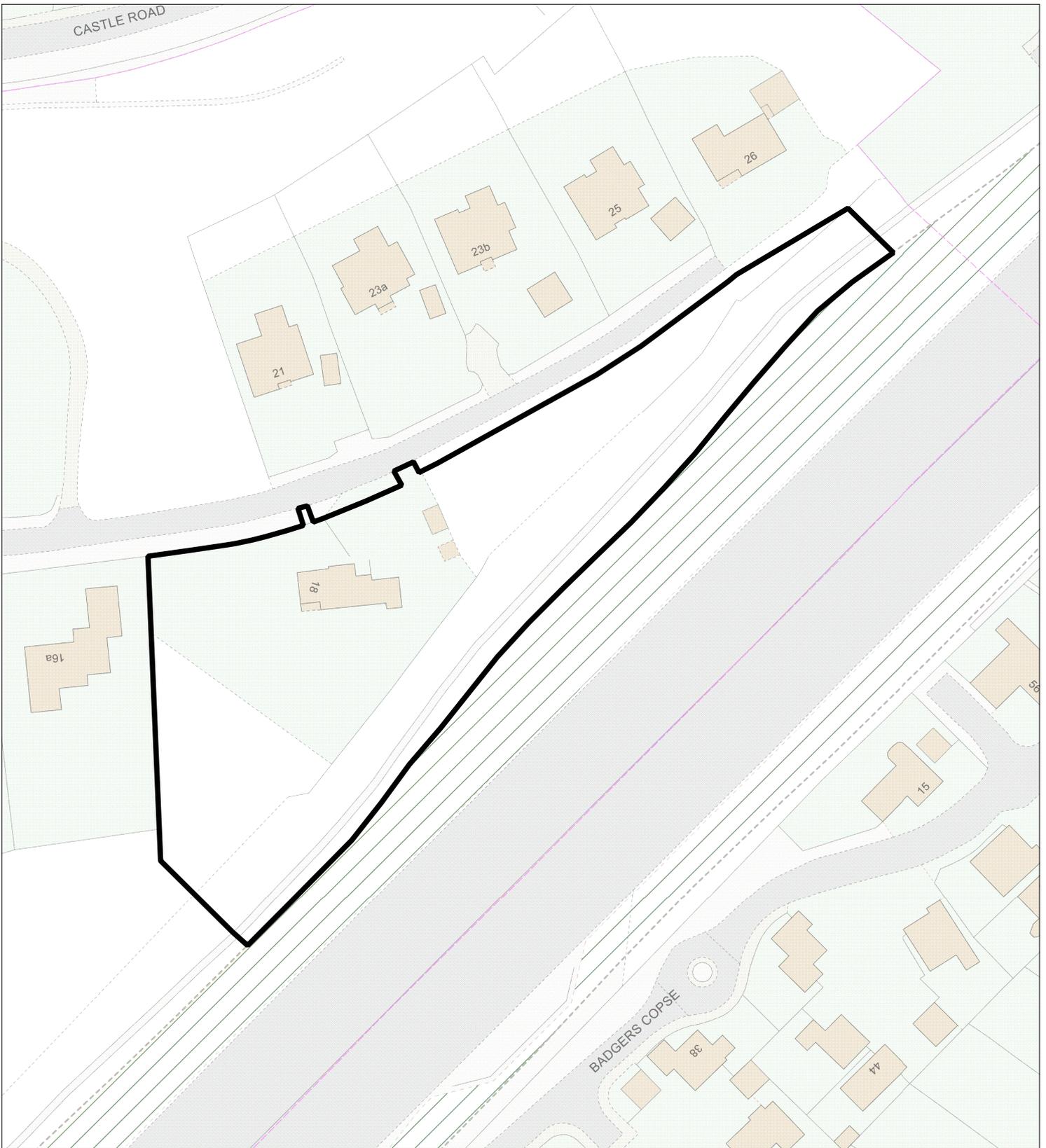
Should you require further information please contact Thames Water.  
Email: [developer.services@thameswater.co.uk](mailto:developer.services@thameswater.co.uk) Phone: 0800 009 3921  
(Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB

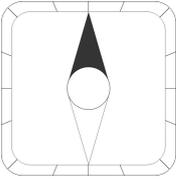
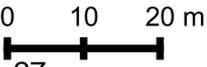
7. With regard to water supply, this comes within the area covered by the South East Water Company. For your information the address to write to is - South East Water Company, Rocfort Road, Snodland, Kent, ME6 5AH, Tel: 01444 448200

**In the event that a satisfactory legal agreement has not been completed by 28 February 2019, the Executive Head of Regulatory be authorised to REFUSE for the following reasons:**

- The proposal fails to provide a satisfactory legal agreement under section 106 of the Town and Country Planning Act 1990 to secure the proposed financial contribution towards affordable housing. The proposal therefore does not satisfactorily address the requirements of Policy CP5 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework 2018.
- In the absence of a completed legal agreement under section 106 of the Town and Country Planning Act 1990, the applicant has failed to comply with Policy CP14B (vi) (European Sites) of the Surrey Heath Core Strategy and Development Management Policies Document 2012 and Policy NRM6 (Thames Basin Heath Special Protection Area) of the South East Plan in relation to the provision of contribution towards strategic access management and monitoring (SAMM) measures, in accordance with the requirements of the Surrey Heath Borough Council's Thames Basin Heaths Special Protection Area Avoidance Strategy Supplementary Planning Document (Adopted January 2012).

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<b>Title</b>	Planning Applications			
<b>Application number</b>	18/0616		<b>Scale @ A4</b>	1:1000
<b>Address</b>	18 & 18a, Tekels Park, Camberley, GU15 2LF		<b>Date</b>	11 Dec 2018
<b>Proposal</b>	Erection of one building containing 10 apartments following the demolition of existing buildings			
				
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18/0616 - 18 & 18A TEKELS PARK, CAMBERLEY, GU15 2LF

Location plan



Proposed site layout



## Elevations



## Street scene



## Site Photos

### Existing dwelling viewed from Tekels Park



Looking west toward 16a Tekels Park



Looking east from 16a Tekels Park



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2018/0499

Reg Date 13/06/2018

Bagshot

**LOCATION:** 45 GUILDFORD ROAD, BAGSHOT, GU19 5JW  
**PROPOSAL:** Erection of two storey building comprising five 2 bedroom flats including dormer windows and rooflights, following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area. (Amended plans rec'd 18/10/2018.) (Amended plans rec'd 22/11/2018)  
**TYPE:** Full Planning Application  
**APPLICANT:** Mr Dean Worsfold  
Homes By Warwick Ltd  
**OFFICER:** Ross Cahalane

**The application would normally be determined under the Council's Scheme of Delegation, however, it has been called in for determination by the Planning Applications Committee at the request of Cllr Valerie White due to concerns regarding overdevelopment of the site and that highway issues have not been looked at properly.**

**RECOMMENDATION: GRANT subject to conditions**

## **1.0 SUMMARY**

- 1.1 This application seeks planning permission for the erection of a two storey building comprising five 2 bedroom flats including dormer windows and rooflights, following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area for a total of 5 vehicles.
- 1.2 The 2018 refusal (18/0105) for a block of 5 flats is a material consideration. This application was refused on character and amenity grounds, and due to no bat survey nor financial contribution towards SAMM. It was not refused on the principle of development or highway grounds. This refusal also proposed 5 parking spaces.
- 1.3 The amended design from the 18/0105 refusal, including the removal of the side gable dormer and the introduction of a low brick wall and additional landscaping along the front highway boundary and side river bank boundary, is considered to sufficiently overcome the design and character reason for refusal. The increased separation distances from neighbouring properties and the removal of balconies and amendments to fenestration overcomes the amenity objections. The County Highways Authority have revisited the highway impacts with this proposal and again raise no objections on safety, parking or capacity grounds.
- 1.4 Surrey Wildlife Trust has now raised no objection subject to compliance with the lighting and ecological enhancement recommendations of the Bat Survey Report, which can be secured through a planning condition. The applicant has also paid the appropriate financial contribution towards SAMM. The application is therefore recommended for approval.

## **2.0 SITE DESCRIPTION**

- 2.1 The application site is located on the northern side of Guildford Road opposite the junction with Bagshot Green, within the settlement area of Bagshot. The site comprises a two storey detached dwelling which has been vacant for some years in close proximity to Guildford Road, with a front outbuilding adjacent to Guildford Road. A larger outbuilding to the rear has now been demolished, but there remains substantial hardstanding coverage across the site behind closeboard fencing and gates along the highway boundary.
- 2.2 The surrounding area is mixed in terms of use and building type. Nearby properties consist of two storey detached and semi-detached dwellings, a single storey public house adjacent the site with two storey residential accommodation, two storey office buildings, a church building to the southeast and three storey flatted accommodation to the west adjacent the junction with Gloucester Road.

## **3.0 RELEVANT PLANNING HISTORY**

- 3.1 18/0105 Erection of a two storey building comprising five 2 bedroom flats including dormer windows and enclosed balcony in the roofspace following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area.

*Decision: Refused*

In summary, the application was refused for the following reasons:

1. Harm to character due to the quantum of development that would have given rise to an unsatisfactory site layout with the visual impact and extent of unrelieved parking to the site frontage, and additionally the scale and massing of the proposal - in particular the prominent side gable.
  2. Harm to residential amenities due to unacceptable overlooking from the proposed side gable balcony towards No. 41 Guildford Road, and from the rear windows and balconies towards No. 13 Duval Place.
  3. Lack of bat emergence and re-entry surveys to demonstrate that the proposed development would not result in harm to or loss of these legally protected species.
  4. Lack of financial contribution towards SAMM measures.
- 3.2 18/0513 Terrace of 3 two-storey dwellings including front dormers following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area.

*Decision: Pending*

## 4.0 THE PROPOSAL

- 4.1 Permission is sought for the erection of a two storey building comprising five 2 bedroom flats including dormer windows and enclosed balcony in the roofspace following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area. This submission seeks to overcome the reasons for refusal of 18/0105.
- 4.2 The proposed building would consist of a crown roof with front dormers, side rooflights and a mixture of hipped and gabled lower pitched roof forms to the front and side. The proposal would have a maximum width of approx. 14.5m, maximum depth of approx. 11.7m, eaves height of approx. 6.2m and maximum ridge height of approx. 9.5m.
- 4.3 The proposal would include a flat roofed bin and cycle store to the front with a maximum width of approx. 5m, maximum depth of approx. 3.5m and flat roof height of approx. 2.8m.
- 4.4 The proposed flats would be served by five car parking spaces to the front with a revised access from Guildford Road. There would be also a separate pedestrian access leading to a communal amenity space to the rear. Landscaping and a low brick wall is proposed along the front of the proposed building and car parking area, and replacement screen planting up to 4m in height is proposed along the rear boundary.
- 4.5 In support of the application, the applicant has provided the following information, and relevant extracts from these documents will be relied upon in Section 7 of this report:
- Planning Statement
  - Design and Access Statement
  - Preliminary Ecological Appraisal and Bat Survey/Re-entry Survey Report
  - Flood Risk Assessment
  - Arboricultural Report
  - Contaminated Land Phase 1 Desktop Study Report.
- 4.6 The main differences with the refused 18/0105 scheme can be summarised as follows:
- The removal of the second floor side gable end containing a balcony
  - The introduction of a low brick wall and additional landscaping along the highway boundary
  - Increased separation distances to the rear of No. 13 Duval Close (approx. 1m to its ground floor and approx. 2m to its first floor), including removal of rear balconies
  - The submission of a Bat Survey/Re-entry Survey Report.

## 5.0 CONSULTATION RESPONSES

- 5.1 County Highway Authority: No objection, subject to conditions *[See Section 7.5]*
- 5.2 Environment Agency: No objection, subject to conditions *[See Section 7.9]*
- 5.3 Surrey Wildlife Trust: Comment: No objection, subject to compliance with Bat Emergence/Re-entry Survey Report *[See Section 7.8]*
- 5.4 Council Arboricultural Officer: No objection *[See Section 7.3]*
- 5.5 Council Scientific Officer: No objection, subject to condition *[See Section 7.9]*
- 5.6 Windlesham Parish Council: Objection - The Committee wishes to re-iterate its previous objection in respect of this application - The Committee objected based on insufficient parking and also commented on access issues - that whilst the development intends to use existing vehicular access, this access has not been used in the last 30 years and traffic movements have increased beyond all recognition since that time and the existing access would now be insufficient. This new application does not address any of these problems, merely adds some soft landscaping to the proposed parking area.

## 6.0 REPRESENTATION

- 6.1 At the time of preparation of this report, three objections have been received (including from a representative of the Bagshot Society), raising the following concerns:

- Overdevelopment
- Insufficient space for landscaping  
*[See Section 7.3]*
- Overlooking
- Overshadowing
- Security issues from proposed pathway  
*[See Section 7.4]*
- Insufficient parking
- Residents likely to have more than one car
- Parking provision should be more than the minimum required – off-street parking is already strained

*[See Section 7.5]*

- *Site is environmentally sensitive – adjacent stream*  
[See Section 7.6]
- Any blockage of stream could cause problems for nearby lower-lying housing  
[See Section 7.9]

## **7.0 PLANNING CONSIDERATION**

7.1 The application site is located in Bagshot, a settlement area as outlined in the Surrey Heath Core Strategy & Development Management Policies 2012 (CSDMP). The proposal is considered against the principles of Policies CP2, CP3, CP5, CP6, CP14, DM9, DM10 and DM11 of the CSDMP. The National Planning Policy Framework (NPPF) is also a material consideration. The Residential Design Guide Supplementary Planning Document (RDG SPD) was adopted in September 2017 and therefore forms an additional material consideration in the determination of this application. The main planning issues in the determination of this application are:

- The principle of the development;
- The impact on the character of the area;
- The impact on residential amenities;
- The impact on highway safety;
- The impact on ecology;
- The impact on local infrastructure;
- The impact on Thames Basin Heaths SPA, and;
- Other matters.

### **7.2 Principle of the development**

7.2.1 At the heart of the NPPF is a requirement to deliver a wide choice of quality homes, and to boost significantly the supply of housing. Within the settlement area such as this site is located, the principle of residential development is acceptable, and it is accepted that Surrey Heath does not currently have a 5-year housing land supply. Policy CP6 shows that within Surrey Heath there is the greatest need for 2- and 3-bed houses and a lesser requirement for 4+ bed houses.

7.2.2 It is considered that the proposal would be a sustainable form of development and that the principle of redevelopment for additional residential use is acceptable.

### **7.3 Impact on character of the surrounding area**

7.3.1 Policy DM9 (Design Principles) states that development will be acceptable where it achieves high quality design that respects and enhances the local environment, paying particular regard to scale, materials, massing, bulk and density. The

revised NPPF 2018 requires planning policies and decisions to ensure that new development makes efficient use of land, is visually attractive as a result of good architecture, layout and appropriate and effective landscaping, whilst being sympathetic to local character and history, including the surrounding built environment and landscape setting. Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents (paragraphs 122, 127 and 130 of the NPPF). Policies CP2 (iv) and DM9 (ii) of the CSDMP reflect these requirements.

- 7.3.2 The current proposal has been redesigned to seek to overcome the first reason for refusal of 18/0105 - concerning the quantum of development that lead to an unsatisfactory site layout with unrelieved parking to the site frontage and a prominent side gable. The principle changes undertaken are the removal of the side gable end and the introduction of a low brick wall and additional landscaping along the highway boundary. The Planning Statement supporting this proposal advises that the design for this amended five flat scheme, along with the alternative 18/0513 proposal for a terrace of three dwellings, has taken into account the concerns raised regarding the scale and appearance of the flat building refused under 18/0105, in anticipation that one or both applications will now be acceptable.
- 7.3.3 Principle 7.4 of the Residential Design Guide (RDG SPD) advises that new residential development should reflect the spacing, heights and building footprints of existing buildings. The proposed flat building would be set back between approx. 6.6m – 8.7m from the highway boundary, considerably set back from the existing vacant dwelling. The proximity to each side boundary would be up to approx. 1.1m. These separation distances increase to approx. 1.9m at the front corners. The proposed streetscene shows that the flat building would be sited approx. 6m from the nearest point of the White Hart Public House to the east and approx. 24m to No. 41 Guildford Road to the west. Given this context, it is considered that the proposed building would not appear cramped within its plot.
- 7.3.4 The current proposed building would remain significantly deeper than the detached dwelling of No. 41 Guildford Road to the west and the surrounding semi-detached residential dwellings. However, the building would sit behind the front elevation line of the adjacent public house on the other side, which is of greater overall depth. Although the building would also be of overall greater height than those at either side mentioned above, the eaves levels would only be marginally higher. Given this and the significant separation distances from these buildings and from the highway as already outlined above, it is considered that the proposed height and depth would not lead to an over-dominant relationship with the surrounding buildings and streetscene, or a discordant plot layout.
- 7.3.5 Principle 7.5 advises that proposals to introduce roof forms on residential development that diverge from the prevailing character of residential development will be resisted, unless it can be demonstrated that the proposals would make a positive contribution to the streetscape. The current proposal would still include hipped roof forms and small front dormer windows also with hipped pitched roofs. The proposed external materials would consist of clay roof tiles, face bricks and

tile hanging, which would reflect the palette of many of the surrounding buildings. Although the proposed building would still contain a crown roof form, given that it would remain wider than it is deeper and would have also have several hipped roof forms, it is still considered that the proposed crown roof would not lead to adverse harm to the character of the surrounding area. It is also noted that the streetscene further to the west surrounding the junction of Gloucester Road contains buildings at 2.5-3 storey in height.

- 7.3.6 The overall scale and traditional design approach is therefore supported as an appropriate response in this location, and it is considered that the removal of the prominent side dormer refused under 18/0105 would now create a balanced roof form. Although this would lead to less articulation on the side elevation visible from Guildford Road, it is considered that this would be offset by the proposed additional landscape buffer zone along the adjacent river bank.
- 7.3.7 Principle 6.7 of the RDG SPD advises that parking layouts should be high quality and designed to, *inter alia*, reflect the strong heathland and sylvan identity of the borough, ensure developments are not functionally and visually dominated by cars, and be spaces that are visually and functionally attractive in the street scene. Principle 6.8 further advises that where front of plot parking is proposed, this should be enclosed with soft landscaping and not dominate the appearance of the plot or the street scene with extensive hard surfacing.
- 7.3.8 The current proposed parking area is now further away from the front highway boundary, as there will now be a low brick wall and landscaping hedges along the highway boundary. An additional ecological landscape buffer along the western side boundary with the river bank is also proposed. The proposal is also supported by a Tree Survey Report, Arboricultural Impact Assessment, Method Statement and Tree Protection Plan. The Council's Arboricultural Officer has raised no objection subject to a pre-commencement condition requiring evidence of the implemented tree protection measures as recommended to be sent to the Arboricultural Officer for assessment. It is considered that this revised layout containing landscaping provisions along the front and side no longer gives rise to an unacceptable prominence of parking in the streetscene. The proposed bin/cycle store would contain a flat roof form adjacent the highway boundary. However, given the scale of the existing disused outbuilding at a similar location, in this instance it is considered that no adverse additional impact upon the surrounding streetscene would arise.
- 7.3.9 In light of all the above, it is considered that the current proposal sufficiently overcomes the first reason for refusal of 18/0105.

#### **7.4 Impact on amenities of neighbouring properties and future occupiers**

- 7.4.1 Policy DM9 (Design Principles) states that the amenities of the occupiers of the neighbouring properties should be respected by proposed development. Principle 8.1 of the Draft Residential Design Guide SPD states that new residential development should be provided with a reasonable degree of privacy to habitable rooms and sensitive outdoor amenity spaces. Developments which have a significant adverse effect on the privacy of neighbouring properties will be resisted.

Paragraph 8.4 further advises that a minimum distance of 20m is a generally accepted guideline for there to be no material loss of privacy between the rear of two storey buildings directly facing each other (i.e. a back to back relationship).

- 7.4.2 The second reason for refusal of 18/0105 related to unacceptable overlooking from the proposed side gable balcony towards No. 41 Guildford Road, and from the rear windows and balconies towards No. 13 Duval Place. As already outlined, the side gable dormer has now been removed and will be replaced by five rooflights. The first floor rear balconies facing No. 13 Duval Place have also been removed.

#### Impact on No. 13 Duval Close

- 7.4.3 The proposed site plan and cross sections show that the first floor rear elevation living room window serving Flat 4 (on the western side) would be sited 18.5m from the extended ground floor rear elevation of the semi-detached dwelling of No. 13 Duval Place to the north (an increase of approx. 1m from the refused 18/0105 scheme), and the separation to the first floor rear elevation of this neighbour would be approx. 22m (an increase of approx. 2m). The separation distances from the first floor rear living room window of Flat 3 (on the eastern side) to No. 13 would be approx. 18.2m at ground floor level (an increase of approx. 1m) and approx. 22m at first floor level (an increase of approx. 2m).
- 7.4.4 The submitted cross section plans demonstrates that views from the first floor rear windows towards the ground floor extension of this neighbour would be restricted by the proposed 4m screening shrubbery along the rear boundary of the application site, to leave a line of sight to the first floor only at a depth of 22m to meet the above SPD guidance. Although such proposed landscape screening is normally considered insufficient to maintain neighbouring amenity in perpetuity, the proposal now no longer includes any balconies or second floor rear openings. It is considered that the steep angle from within the proposed rear windows down towards the rear extension of No. 13, although at a distance of 18.2m-18.5m, would be sufficient to avoid adverse direct overlooking.
- 7.4.5 As such, although the separation distance to the neighbouring ground floor rear extension would remain below the minimum recommended distance of 20m advised under the RDG SPD, it is considered that the resultant internal-only angle of view would not lead to adverse harm to the amenity of current and future occupiers of No. 13 Duval Close in terms of overlooking. It is therefore considered that the current proposal sufficiently overcomes the second reason for refusal of 18/0105 in terms of impact upon this neighbour.

#### Impact on No. 41 Guildford Road

- 7.4.6 The current proposed building would now contain five side elevation rooflights on the second floor serving a kitchen/living room area, facing the front/side garden of the detached dwelling of No. 41 Guildford Road to the west. The submitted cross-section plan shows that these rooflights would be 1.8m above finished floor level. The separation distance from these rooflights towards the dwelling of No. 41 would be approx. 26m at an angle to the northwest. The resultant relationship is considered sufficient to avoid adverse harm to the amenity of No. 41 in terms of loss of light, outlook, or overbearing impact. The pathway along the river bank to

the proposed communal rear amenity area has now also been removed, as an improved buffer zone was requested by the Environment Agency.

- 7.4.7 No. 41 is sited in an irregular-shaped plot as although it has a conventional frontage and enclosed rear garden, it also benefits from a generous side garden amenity area which is well-screened from Guildford Road and therefore also serves as a private amenity area. The existing dwelling of No. 45, albeit vacant, contains a first floor side elevation window facing this area to a distance of approx. 11.5m to the boundary with No. 41. The proposed side elevation rooflights would be sited at a noticeably closer proximity of approx. 4.5m at the closest point to the garden boundary. However, it is considered that the height of the rooflights above finished floor level and their angle in the roof slope would be sufficient to avoid an adverse level of overlooking towards this neighbouring garden area of No. 41 Guildford Road. It is therefore considered that the current proposal sufficiently overcomes the second reason for refusal of 18/0105 in terms of impact upon this neighbour.

#### Impact on other neighbours

- 7.4.8 The proposed building also contains upper floor side elevation rooflights facing the adjacent public house to the east, which appears to contain first floor residential accommodation. However, its first floor side elevation window appears to be obscure-glazed. Given the site orientation and the relationship with the existing application site building, it is considered that no adverse harm would arise upon this neighbour in terms of loss of light, outlook, privacy or overbearing impact.
- 7.4.9 The proposed separation distances to the other semi-detached dwelling immediately to the rear, No. 14 Duval Close (attached to No. 13 but does not have a rear extension) would be approx. 21m to its ground floor and approx. 22m to its first floor. These distances are considered sufficient to avoid adverse harm in terms of loss of privacy, light or overbearing impact.
- 7.4.10 The proposed front elevation windows would be sited approx. 31m from the front elevations of the semi-detached dwellings of Nos. 30 and 32 Bagshot Green, facing the opposite side of Guildford Road. These distances are considered sufficient to avoid adverse harm in terms of loss of privacy, light or overbearing impact. The proposal as a whole would be sited at sufficient distance from other neighbouring boundaries and elevations to avoid material harm to amenity.

#### Amenities of future occupiers

- 7.4.11 The proposed five flats would each be provided with communal private amenity space to the rear for the other three flats. It is stated on the site plan as having an area of 80 sq m. Although this area is somewhat limited, in this instance it is considered to be adequate for the proposed flats, as it would be well-enclosed and would also benefit from a riverside setting. The overall floorspace and storage provision for each flat would meet the requirements as set out in the national minimum space standards and it is also considered that future occupiers would be afforded with sufficient outlook.

## **7.5 Impact on highway safety**

- 7.5.1 Policy DM11 (Traffic Management and Highway Safety) states that development which would adversely impact the safe and efficient flow of traffic movement on the highway network will not be permitted unless it can be demonstrated that measures to reduce and mitigate such impacts to acceptable levels can be implemented.
- 7.5.2 The proposal would involve the provision of a total of five off-street parking spaces for the five flats and a revised vehicular off Guildford Road. Cycle parking spaces would be accommodated within a separate enclosed building to the front. The proposed development would be accessed via a well-used route linking the A30 to the A322 and M3. However, the County Highway Authority (CHA) has been consulted and has not objected on safety, capacity or policy grounds, subject to conditions including provision of appropriate access sight lines, commenting that it is not considered that the proposal will give rise to any significant highway issues. It should also be noted that the 18/0105 five flat proposal was not refused on highway safety grounds.
- 7.5.3 The proposed provision of one parking space per two-bed flat is considered sufficient given their location in a settlement area and near to bus routes and Bagshot rail station. It should also be noted that the 18/0105 five flat proposal was not previously refused for having five vehicle spaces and that this is consistent with the Surrey County Council Parking Guidance for Development (January 2018), which recommends a maximum of one space per 1/2-bed flat within a suburban or village location. The Local Planning Authority is therefore satisfied that the proposal would not conflict with the aims of Policy DM11.

## **7.6 Impact on ecology**

- 7.6.1 A Preliminary Ecological Appraisal has been provided, which identified Building B1 as having high potential to support roosting bats, a legally protected species. Surrey Wildlife Trust (SWT) raised objection as further bat surveys were required. A Bat Survey/Re-entry Survey Report was subsequently provided. SWT has now raised no objection subject to compliance with the lighting and ecological enhancement recommendations of the Bat Survey Report, which can be secured through a planning condition. Subject to this condition, it is considered that the third reason for refusal of 18/0105 has been overcome.

## **7.7 Impact on local infrastructure**

- 7.7.1 Policy CP12 states that the Borough Council will ensure that sufficient physical, social and community infrastructure is provided to support development and that contributions in the longer term will be through the CIL Charging Schedule. Paragraph 153 of the NPPF states that supplementary planning documents should be used where they can aid infrastructure delivery. The Council's Infrastructure Delivery SPD was adopted in 2014 and sets out the likely infrastructure required to deliver development and the Council's approach to Infrastructure Delivery.
- 7.7.2 Surrey Heath's Community Infrastructure Levy (CIL) Charging Schedule was adopted by Full Council on 16 July 2014. As the CIL Charging Schedule came into effect on 01 December 2014, an assessment of CIL liability has been undertaken.

Surrey Heath charges CIL on residential developments involving one or more new dwellings through new build. As the proposal includes five new dwellings, the development is CIL liable. CIL is a land charge that is payable at commencement of works should permission be granted on appeal. An informative advising of this would be added.

## **7.8 Impact on Thames Basin Heaths SPA**

- 7.8.1 All of Surrey Heath lies within 5km of the Thames Basin Heaths SPA. The Thames Basin Heaths Special Protection Area Avoidance Strategy SPD 2012 states that no new residential development is permitted within 400m of the SPA. The application site is not within 400m of the SPA but all new development is required to either provide SANG on site (for larger proposals) or for smaller proposals such as this one, provided that sufficient SANG is available and can be allocated to the development, a financial contribution towards SANG provided, which is now collected as part of CIL. There is currently sufficient SANG available.
- 7.8.2 In addition to the financial contribution towards the mitigation on likely effects of the proposed development on the TBH SPA in terms of SANG, Policy CP14B requires that all new residential development contributes toward SAMM (Strategic Access Management and Monitoring) measures. As this is not included within CIL, a separate financial contribution towards SAMM is required. In this instance a payment of £2,435 is needed. This has been by paid by the applicant.

## **7.9 Other Matters**

- 7.9.1 The application site is mainly within Flood Zone 2, with parts of the site adjacent the Windle Brook (designated by the Environment Agency as a main river) within Flood Zone 3. Only the proposed bike and bin storage would be located within Flood Zone 3. A Flood Risk Assessment has been provided, which concludes that the risk of flooding from these sources can be managed so additional flood resistance and resilience measures are therefore not required. Following discussions between the applicant and the EA, an amended proposed site plan and cross-section plan was submitted to relocate the hard path away from the water course, remove the concrete retaining wall to the rear (to be replaced by a planted slope at 1:3 gradient to enhance the immediate environment), and to provide a landscape buffer zone along the river bank, predominantly of native species. The EA has now raised no objection, subject to a planning conditions requiring additional information to outline the provision and management of the buffer zone, and compliance with the flood risk assessment.
- 7.9.2 A Contaminated Land Phase 1 Desktop Study Report has been provided which includes potential sources of contamination. Under the 18/0105 application, the Council's Scientific Officer raised no objection to the proposal, subject to a planning condition requiring a contaminated land desk survey, site investigation and subsequent remediation action plan, discovery strategy and verification report to demonstrate that the agreed remediation has been carried out.
- 7.9.3 Paragraph 63 of the revised NPPF states that the provision of affordable housing should not be sought for residential developments that are not major developments (ten or more dwellings or sites of 0.5 hectare or more). This is a material planning consideration in the determination of planning applications. On

the basis of this Officers are of the opinion that no financial contribution in lieu of affordable housing can be sought for this development.

- 7.9.4 Any development proposal for new residential development attracting New Homes Bonus payments as set out in Section 70 of the Town and Country Planning Act (as amended by Section 143 of the Localism Act) is a local financial consideration which must be taken into account, as far as they are material to an application, in reaching a decision. Whilst the implementation and completion of the development will result in a local financial benefit this is not a matter that needs to be given significant weight in the determination of this application.

## **8.0 CONCLUSION**

- 8.1 The proposal overcomes the reasons for refusing 18/0105 on character, amenity and ecology grounds and is considered to comply with adopted policies and the NPPF. The application is therefore recommended for approval.

## **9.0 WORKING IN A POSITIVE/PROACTIVE MANNER**

- 9.1 In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 38-41 of the NPPF. This included:
- a) Provided or made available pre application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development;
  - b) Provided feedback through the validation process including information on the website, to correct identified problems to ensure that the application was correct and could be registered.

## **10.0 RECOMMENDATION**

GRANT subject to the following conditions:-

1. The development hereby permitted shall be begun within three years of the date of this permission.

Reason: To prevent an accumulation of unimplemented planning permissions and in accordance with Section 91 of the Town and Country Planning Act 1990 as amended by Section 51(1) of the Planning and Compulsory Purchase Act 2004.

2. The proposed development shall be built in accordance with the following approved plans:

Proposed site plan (Drawing No. 4963 3 22 Rev C); Proposed floor plans (Drawing No. 4963 3 23 Rev B); Proposed elevations (Drawing No. 4963 3 24 Rev B); Proposed streetscene, site section and bin/bike store elevations (Drawing No. 4963 3 25 Rev A) - all received on 22 November 2018, unless the prior written approval has been obtained from the Local Planning Authority.

Reason: For the avoidance of doubt and in the interest of proper planning and as advised in ID.17a of the Planning Practice Guidance.

3. No development shall take place until details and samples of the external materials to be used shall be submitted to and approved in writing by the Local Planning Authority. Materials to be agreed will include the proposed brick, tile and fenestration. Once approved, the development shall be carried out using only the agreed materials.

Reason: In the interests of visual amenities of the area and to accord with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

4. The development hereby permitted shall be carried out wholly in accordance with the submitted Arboricultural Report and Method Statement prepared by PJC Consultancy [Peter Davies] and dated 05 June 2018. No development shall commence until digital photographs have been provided by the retained Consultant and forwarded to and approved by the Council's Arboricultural Officer. This should record all aspects of any facilitation tree works and the physical tree and ground protection measures having been implemented and maintained in accordance with the Arboricultural Report. The tree protection measures shall be retained until completion of all works hereby permitted.

Reason: To preserve and enhance the visual amenities of the locality in accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

5. No development shall take place until full details of both hard and soft landscaping works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved, and implemented prior to first occupation. The submitted details should also include an indication of all level alterations, hard surfaces, walls, fences, access features, the existing trees and hedges to be retained, together with the new planting to be carried out and shall build upon the aims and objectives of the supplied **BS5837:2012 – Trees in Relation to Design, Demolition and Construction** Arboricultural Method Statement [AMS]. All plant material shall conform to **BS3936:1992 Parts 1 – 5: Specification for Nursery Stock**.

Handling, planting and establishment of trees shall be in accordance with **BS 8545:2014 Trees: from nursery to independence in the landscape**

Reason: To preserve and enhance the visual amenities of the locality in

accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

6. All hard and soft landscaping works shall be carried out in accordance with the approved details. Arboricultural work to existing trees shall be carried out prior to the commencement of any other development; otherwise all remaining landscaping work and new planting shall be carried out prior to the occupation of the development or in accordance with a timetable agreed in writing with the Local Planning Authority. Any trees or plants, which within a period of five years of commencement of any works in pursuance of the development die, are removed, or become seriously damaged or diseased shall be replaced as soon as practicable with others of similar size and species, following consultation with the Local Planning Authority, unless the Local Planning Authority gives written consent to any variation.

Reason: To preserve and enhance the visual amenities of the locality in accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

7. No development shall take place until a scheme for the provision and management of a buffer zone alongside the Windle Brook, as shown on the proposed site plan (Drawing No. 4963 3 32 Rev C received on 22 November 2018), has been submitted to and agreed in writing by the local planning authority. The buffer zone shall be a minimum of 3.5m wide along the site's northern boundary and a minimum of 1m wide along the western boundary. Thereafter the development shall be carried out in accordance with the approved scheme and any subsequent amendments shall be agreed in writing with the local planning authority. The buffer zone scheme shall be free from built development including lighting, domestic gardens and formal landscaping; and should form a vital part of green infrastructure provision. The scheme shall include:

- Plans showing the extent and layout of the buffer zone in relation to the rest of the site.
- Details of the proposed planting scheme, which should enhance the site for wildlife. The planting scheme should aim to create a mosaic of shaded and more open areas and should consist of a mix of native (of local provenance) trees and shrubs along the top of the bank and marginal planting along the slope of the re-profiled banks. The Communal Amenity Space should also be sown with a native wildflower mix.
- Details demonstrating how the Windle Brook will be protected during development, giving particular consideration to pollution prevention measures.
- Details demonstrating how the Windle Brook buffer zone will be managed/maintained over the longer term to enhance its value for wildlife. This should include adequate financial provision and named body responsible for management plus production of detailed management plan (i.e. establishment and maintenance regimes for each habitat to be retained/created). Management should aim to create a

zone of natural character with vegetation that gives rise to a range of conditions of light and shade in the watercourse itself.

- Details of fencing to protect the buffer zone. This should have a wildlife friendly design (e.g. post and rail fencing) that allows species such as hedgehogs to pass through/under it whilst preventing residents from managing the buffer as an extended garden. The fencing should have a gate installed to enable access for management of the buffer zone.
- Details of any ecological enhancements, e.g. the provision of bat/bird boxes within the new building.

Reason: Land alongside watercourses is particularly valuable as a corridor for wildlife. This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site in line with national planning policy, to accord with Policy CP14 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

8. No development shall take place until a scheme for the provision and management of compensatory habitat creation has been submitted to and agreed in writing by the local planning authority and implemented as approved. Thereafter the development shall be implemented in accordance with the approved scheme. Detailed existing and proposed cross section and plan view drawings (showing dimensions) will be required to support this scheme. These should be based on the details provided in the proposed site plan (Drawing No. 4963 3 32 Rev C received on 22 November 2018).

Reason: Land alongside watercourses is particularly valuable as a corridor for wildlife. This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site in line with national planning policy, to accord with Policy CP14 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

9. The development permitted by this planning permission shall be carried out in accordance with the Flood Risk Assessment, prepared by Dr Paul Garrad, dated 21 May 2018, and the following mitigation measures:
  - Finished floor levels are set no lower than 54.95 metres above Ordnance Datum.

The mitigation measure(s) shall be fully implemented prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason: This condition is sought in accordance with paragraph 163 of the National Planning Policy Framework to reduce the risk of flooding on-site and elsewhere. In particular, to reduce the risk of flooding to the proposed development and future occupants.

10. The development hereby approved shall be undertaken in accordance with the mitigation and enhancement recommendations in Paragraphs 4.1.6 and 5.1.1 of the submitted Bat Emergence/Re-entry Survey Report [PJC Consultancy, dated July 2018].

Reason: To ensure the protection of protected species in accordance with Policy CP14 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

11. The development hereby approved shall not be first occupied unless and until the proposed vehicular access to Guildford Road has been constructed in accordance with the proposed site plan (Drawing No. 4963 3 22 Rev C - received on 22 November 2018), and thereafter shall be permanently maintained.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

12. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with Drawing No. 4963 3 32 Rev C, for vehicles and cycles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

13. The development hereby approved shall not be first occupied unless and until existing access from the site to Guildford Road has been permanently closed and any kerbs, verge, footway, fully reinstated.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the

National Planning Policy Framework.

14. The development hereby approved shall not be occupied unless and until at least two of the available parking spaces are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply), in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

15. No development shall take place until a Method of Construction Statement, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) loading and unloading of plant and materials
- (c) storage of plant and materials
- (d) measures to prevent the deposit of materials on the highway

has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction period.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

16. (i) The development hereby approved shall not begin until a scheme to deal with contamination of the site has been submitted to and approved in writing by the Local Planning Authority.

(ii) The above scheme shall include :-

- (a) a contaminated land desk study and suggested site assessment methodology;
- (b) a site investigation report based upon (a);
- (c) a remediation action plan based upon (a) and (b);
- (d) a "discovery strategy" dealing with unforeseen contamination discovered during construction;

(e) a "validation strategy" identifying measures to validate the works undertaken as a result of (c), and d), and;

(f) a verification report appended with substantiating evidence demonstrating the agreed remediation has been carried out

(iii) Unless otherwise agreed in writing by the Local Planning Authority, the development shall be carried out and completed wholly in accordance with such details as may be agreed.

Reason: To ensure that a satisfactory strategy is put in place for addressing contaminated land, making the land suitable for the development hereby approved without resulting in risk to construction workers, future users of the land, occupiers of nearby land and the environment generally in accordance with Policies CP2 and DM9 of the Surrey Heath Core Strategy and Development Management Policies Document 2012 and the National Planning Policy Framework.

#### Informative(s)

1. Decision Notice to be kept DS1

2. CIL Liable CIL1

3. Environmental Permit

This development will require an Environmental Permit from the Environment Agency under the terms of the Environmental Permitting (England and Wales) (Amendment) (No. 2) Regulations 2016 for any proposed works or structures, in, under, over or within 8 metres of the top of the bank of designated 'main rivers'. This was formerly called a Flood Defence Consent. Some activities are also now excluded or exempt. An environmental permit is in addition to and a separate process from obtaining planning permission. Further details and guidance are available on the GOV.UK

website: <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits>

4. Highway Informatives

The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that prior approval must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, or verge to form a vehicle crossover or to install dropped kerbs. Please see [www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs](http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs).

When a temporary access is approved or an access is to be closed as a condition of planning permission an agreement with, or licence issued by, the Highway Authority Local Highways Service will require that the redundant dropped kerb be raised and any verge or footway crossing be reinstated to conform with the existing adjoining surfaces at the developers expense.

The developer is advised that as part of the detailed design of the highway

works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.

It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.

The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service.

The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

5. For the avoidance of doubt, the following definitions apply to the above condition (No: 16) relating to contaminated land:

Desk study- This will include: -

- (i) a detailed assessment of the history of the site and its uses based upon all available information including the historic Ordnance Survey and any ownership records associated with the deeds.
- (ii) a detailed methodology for assessing and investigating the site for the existence of any form of contamination which is considered likely to be present on or under the land based upon the desk study.

Site Investigation Report: This will include: -

- (i) a relevant site investigation including the results of all sub-surface soil, gas and groundwater sampling taken at such points and to such depth as the Local Planning Authority may stipulate.
- (ii) a risk assessment based upon any contamination discovered and any receptors.

Remediation action plan: This plan shall include details of: -

- (i) all contamination on the site which might impact upon construction workers, future occupiers and the surrounding environment;
- (ii) appropriate works to neutralise and make harmless any risk from contamination identified in (i)

Discovery strategy: Care should be taken during excavation or working of

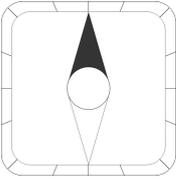
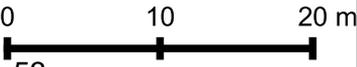
the site to investigate any soils which appear by eye or odour to be contaminated or of different character to those analysed. The strategy shall include details of: -

(i) supervision and documentation of the remediation and construction works to ensure that they are carried out in accordance with the agreed details;

(ii) a procedure for identifying, assessing and neutralising any unforeseen contamination discovered during the course of construction;

(iii) a procedure for reporting to the Local Planning Authority any unforeseen contamination.



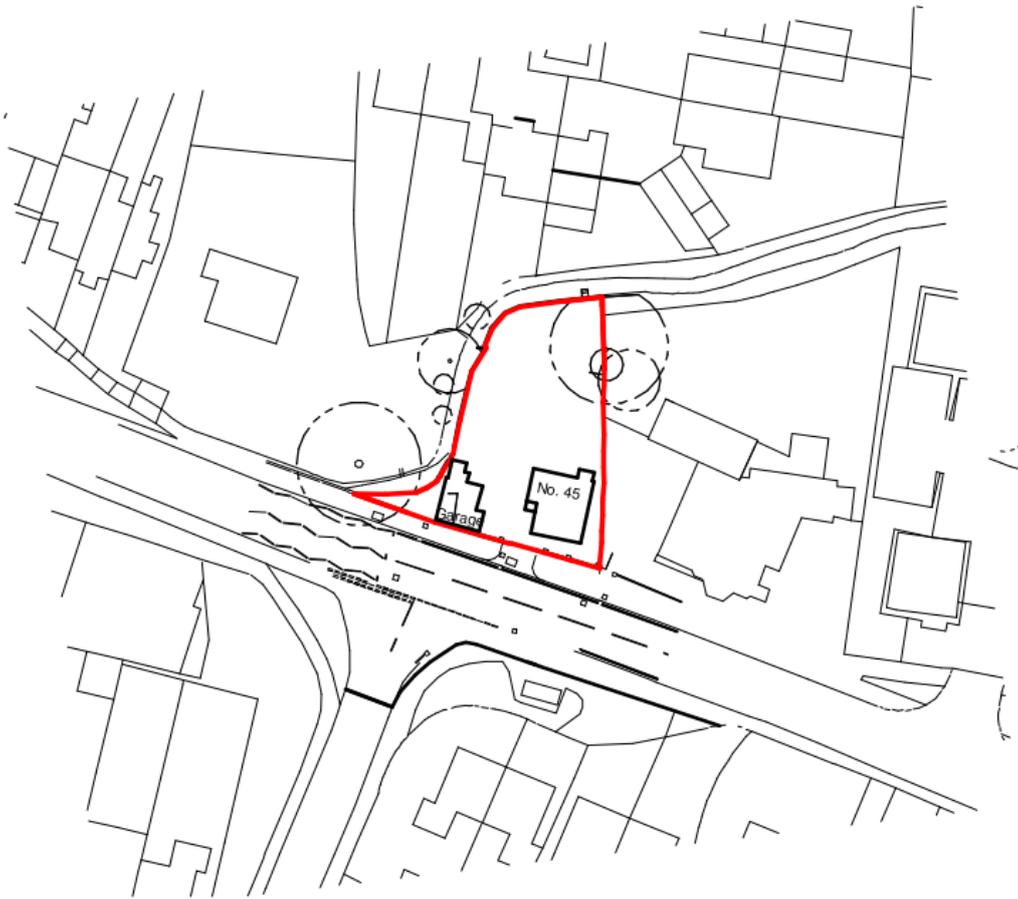
<b>Title</b>	Planning Applications		
<b>Application number</b>	18/0499	<b>Scale @ A4</b>	1:500
<b>Address</b>	45 GUILDFORD ROAD, BAGSHOT, GU19 5JW	<b>Date</b>	11 Dec 2018
<b>Proposal</b>	Erection of two storey building comprising five 2 bedroomed flats including dormer windows and rooflights, following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area.		
	 		
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18/0499 - 45 GUILDFORD ROAD, BAGSHOT, GU19 5JW

Location Plan



Existing site plan

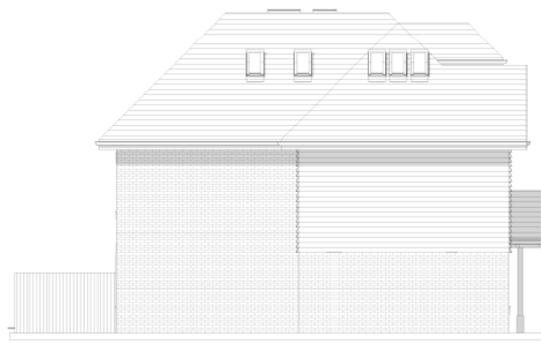




## Proposed elevations



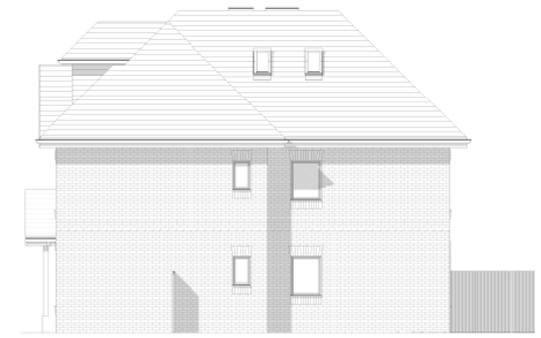
① **South Elevation**  
1:50



③ **West Elevation**  
1:50

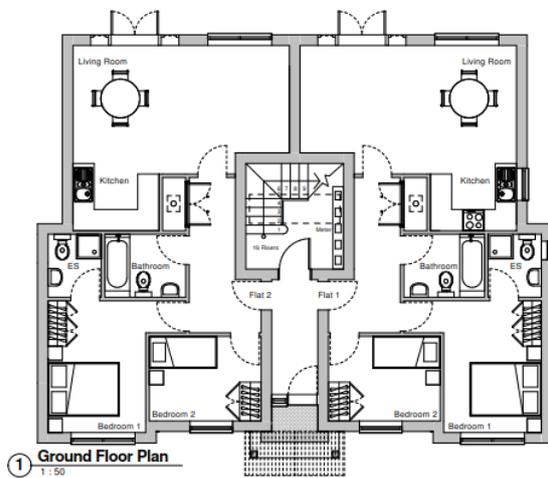


② **North Elevation**  
1:50

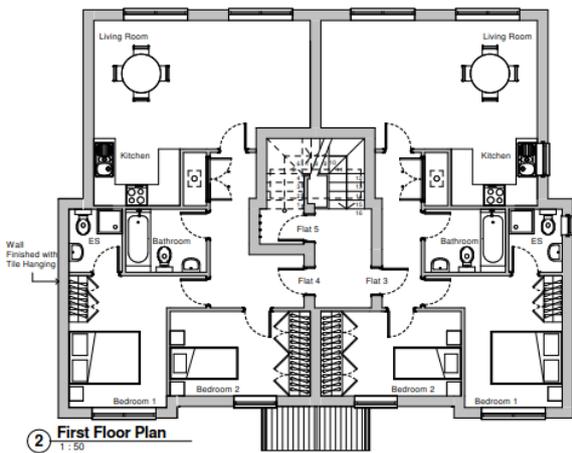


④ **East Elevation**  
1:50

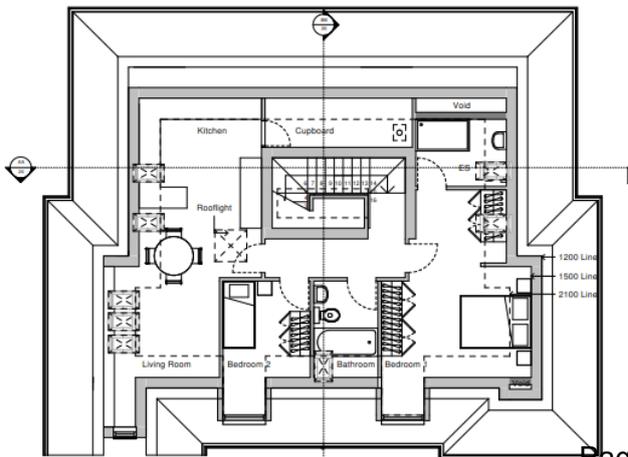
## Proposed floor plans and roof plan



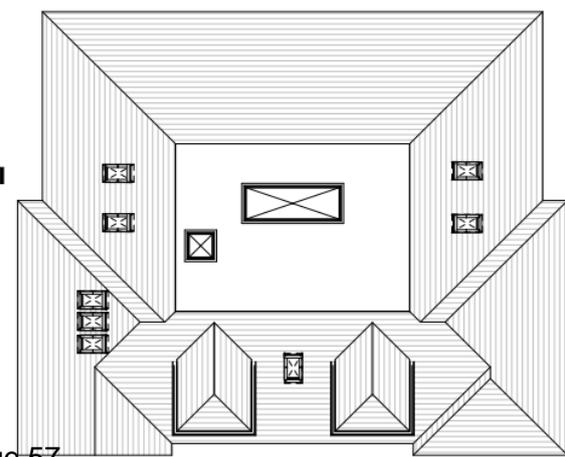
① **Ground Floor Plan**  
1:50



② **First Floor Plan**  
1:50



AA **Second Floor Plan**  
1:50

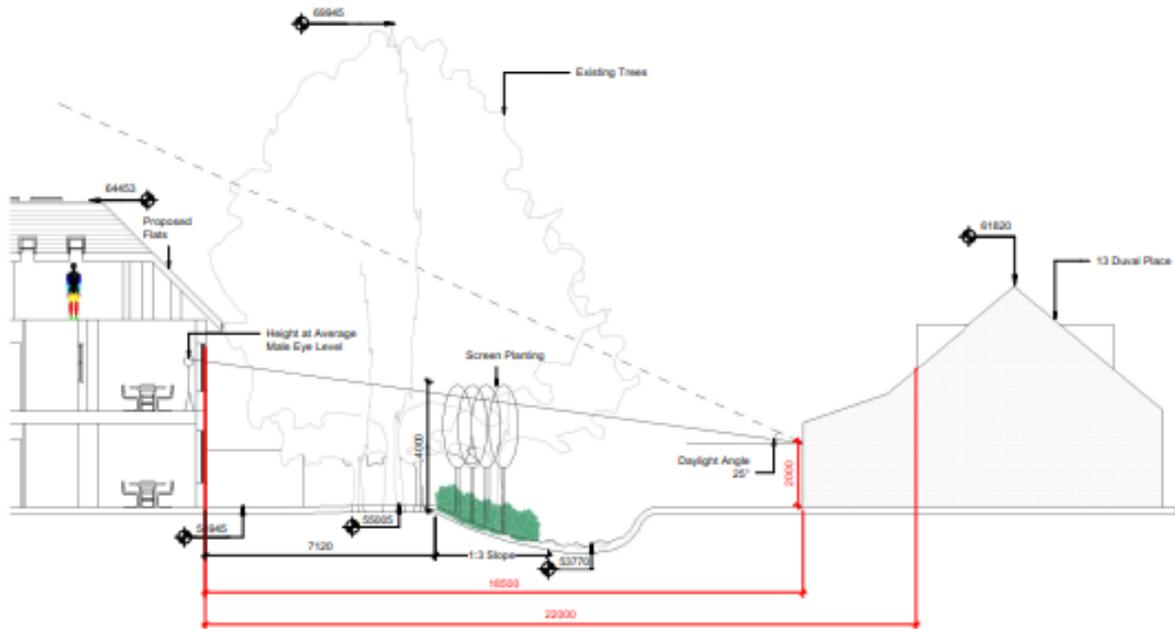


④ **Roof Plan**  
1:50

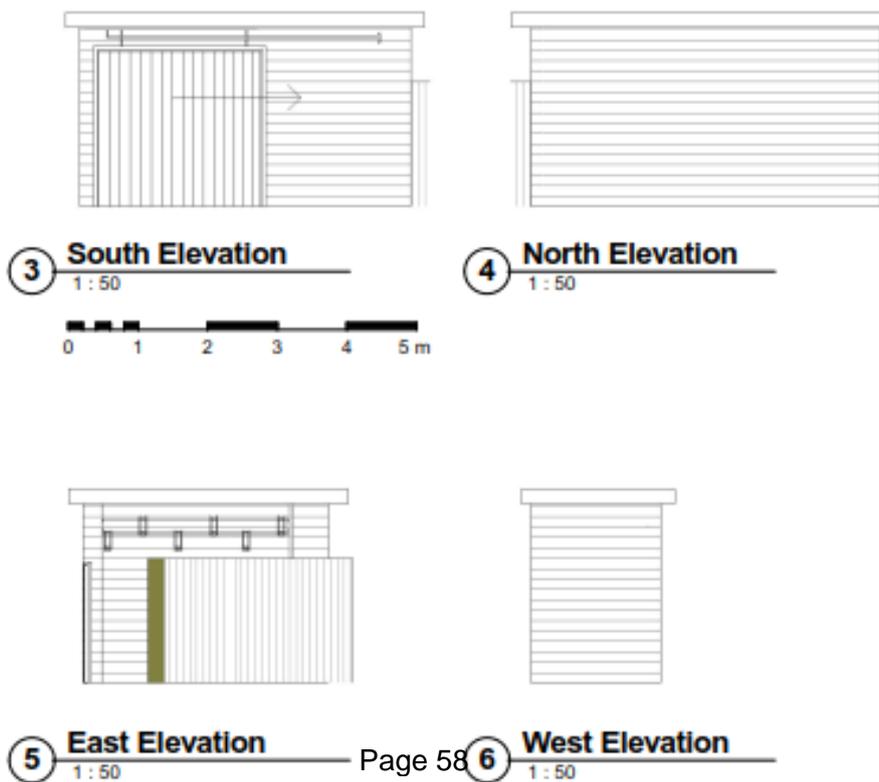
Proposed streetscene



Proposed rear section



Proposed bin/cycle store elevations



Site photos

Existing buildings



Streetscene facing northeast



Facing northwest



Facing southwest



Junction with Bagshot Green opposite



Rear boundary with Duval Close



Side boundary with No. 41 Guildford Road



2018/0513

Reg Date 14/06/2018

Bagshot

**LOCATION:** 45 GUILDFORD ROAD, BAGSHOT, GU19 5JW  
**PROPOSAL:** Terrace of 3 two-storey dwellings including front dormers following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area. (Amended plans rec'd 18/10/2018 & 22/11/2018.)  
**TYPE:** Full Planning Application  
**APPLICANT:** Mr Dean Worsfold  
 Homes By Warwick Ltd  
**OFFICER:** Ross Cahalane

The application would normally be determined under the Council's Scheme of Delegation, however, it has been called in for determination by the Planning Applications Committee at the request of Cllr Valerie White due to concerns regarding overdevelopment of the site and that highway issues have not been looked at properly.

#### **RECOMMENDATION: GRANT subject to conditions**

##### **1.0 SUMMARY**

- 1.1 This application seeks planning permission for the erection of a terrace of 3 two-storey dwellings including front dormers following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area.
- 1.2 The principle of residential development in a sustainable location is supported. It is considered that the proposed terrace of three dwellings would not lead to an unacceptably over-dominant or incongruous addition to the streetscene, given the mix of building heights in the vicinity and its symmetrical design sufficiently set back from the highway and appropriately contained by a landscaping scheme. It is also considered that the separation distances to all surrounding boundaries and elevations are sufficient to avoid a cramped appearance or unacceptable harm to amenity. The proposal has the support of the County Highway Authority, the Environment Agency, Surrey Wildlife Trust and the Council's Scientific Officer and Arboricultural Officer.
- 1.3 The application is therefore recommended for approval.

##### **2.0 RELEVANT PLANNING HISTORY**

- 2.1 18/0105 Erection of a two storey building comprising five 2 bedroom flats including dormer windows and enclosed balcony in the roofspace following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area.

*Decision: Refused*

In summary, the application was refused for the following reasons:

1. Harm to character due to the quantum of development that would have given rise to an unsatisfactory site layout with the visual impact and extent of unrelieved parking to the site frontage, and additionally the scale and massing of the proposal - in particular the prominent side gable.
  2. Harm to residential amenities due to unacceptable overlooking from the proposed side gable balcony towards No. 41 Guildford Road, and from the rear windows and balconies towards No. 13 Duval Place.
  3. Lack of bat emergence and re-entry surveys to demonstrate that the proposed development would not result in harm to or loss of these legally protected species.
  4. Lack of financial contribution towards SAMM measures.
- 2.2 18/0499 Erection of two storey building comprising five 2 bedroom flats including dormer windows and rooflights, following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area.

*Decision: Pending*

### **3.0 CONSULTATION RESPONSES**

- 3.1 County Highway Authority: No objection, subject to conditions [See Section 7.5]
- 3.2 Environment Agency: No objection, subject to conditions [See Section 7.7]
- 3.3 Surrey Wildlife Trust: Comment: No objection, subject to compliance with Bat Emergence/Re-entry Survey Report [See Section 7.8]
- 3.4 Council Arboricultural Officer: No objection [See Section 7.6]
- 3.5 Council Scientific Officer: No objection, subject to condition [See Para 7.4.9]
- 3.6 Windlesham Parish Council: Objection - The Committee objects to the application based on overdevelopment of the site, highways and parking issues and concerns regarding the height of the development. The Committee also commented that it fully supported the scientific officers report regarding this site.

## **4.0 REPRESENTATION**

4.1 At the time of preparation of this report, two objections have been received, raising the following concerns:

- Overdevelopment
- Insufficient space for landscaping  
*[See Section 7.3]*
- Overlooking
- Overshadowing
- Security issues from proposed pathway  
*[See Section 7.4]*
- Insufficient parking
- Residents likely to have more than one car
- Parking provision should be more than the minimum required – off-street parking is already strained  
*[See Section 7.5]*
- Site is environmentally sensitive – adjacent stream  
*[See Section 7.6]*
- Any blockage of stream could cause problems for nearby lower-lying housing  
*[See Section 7.9]*

## **5.0 SITE DESCRIPTION**

5.1 The application site is located on the northern side of Guildford Road opposite the junction with Bagshot Green, within the settlement area of Bagshot. The site comprises a two storey detached dwelling which has been vacant for some years in close proximity to Guildford Road, with a front outbuilding adjacent to Guildford Road. A larger outbuilding to the rear has now been demolished, but there remains substantial hardstanding coverage across the site behind closeboard fencing and gates along the highway boundary.

5.2 The surrounding area is mixed in terms of use and building type. Nearby properties consist of two storey detached and semi-detached dwellings, a single storey public house adjacent the site with two storey residential accommodation, two storey office buildings, a church building to the southeast and three storey flatted accommodation to the west adjacent the junction with Gloucester Road.

## **6.0 THE PROPOSAL**

- 6.1 Permission is sought for a terrace of 3 two-storey dwellings including front dormers following demolition of existing dwelling and outbuildings, with revised vehicular access from Guildford Road, bin/cycle storage, landscaping and parking area.
- 6.2 The proposed building would consist of a crown roof with rooflights above, lower two storey side flat roofs and front dormers. The building would have a maximum width of approx. 15.2m, depth of approx. 10.3m, eaves height of approx. 6.8m and maximum roof height of approx. 9.5m.
- 6.3 The proposed dwellings would be served by four car parking spaces to the front with a revised access from Guildford Road. There would be also a separate pedestrian access leading to a communal amenity space to the rear. Landscaping and a low brick wall is proposed along the front of the proposed building and car parking area, and replacement screen planting up to 4m in height is proposed along the rear boundary.
- 6.4 Landscaping and a low brick wall is proposed along the front of the proposed building and car parking area, and replacement screen planting up to 4m in height is proposed along the rear boundary. The proposal would include a flat roofed bin and cycle store to the front with a maximum width of approx. 5m, maximum depth of approx. 3.5m and flat roof height of approx. 2.8m.

## **7.0 PLANNING CONSIDERATION**

- 7.1 The application site is located in Bagshot, a settlement area as outlined in the Surrey Heath Core Strategy & Development Management Policies 2012 (CSDMP). The proposal is considered against the principles of Policies CP2, CP3, CP5, CP6, CP14, DM9, DM10 and DM11 of the CSDMP. The National Planning Policy Framework (NPPF) is also a material consideration. The Residential Design Guide Supplementary Planning Document (RDG SPD) was adopted in September 2017 and therefore forms an additional material consideration in the determination of this application. The main planning issues in the determination of this application are:
  - The principle of the development;
  - The impact on the character of the area;
  - The impact on residential amenities;
  - The impact on highway safety;
  - The impact on ecology;
  - The impact on local infrastructure;
  - The impact on Thames Basin Heaths SPA, and;
  - Other matters.

## **7.2 Principle of the development**

7.2.1 At the heart of the NPPF is a requirement to deliver a wide choice of quality homes, and to boost significantly the supply of housing. Within the settlement area such as this site is located, the principle of residential development is acceptable, and it is accepted that Surrey Heath does not currently have a 5-year housing land supply. Policy CP6 shows that within Surrey Heath there is the greatest need for 2- and 3-bed houses and a lesser requirement for 4+ bed houses. It is considered that the proposal would be a sustainable form of development and that the principle of redevelopment for additional residential use is acceptable.

## **7.3 Impact on character of the surrounding area**

7.3.1 Policy DM9 (Design Principles) states that development will be acceptable where it achieves high quality design that respects and enhances the local environment, paying particular regard to scale, materials, massing, bulk and density. The revised NPPF 2018 requires planning policies and decisions to ensure that new development makes efficient use of land, is visually attractive as a result of good architecture, layout and appropriate and effective landscaping, whilst being sympathetic to local character and history, including the surrounding built environment and landscape setting. Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents (paragraphs 122, 127 and 130 of the NPPF). Policies CP2 (iv) and DM9 (ii) of the CSDMP reflect these requirements.

7.3.2 The Planning Statement supporting this proposal for a terrace of three dwellings advises that the design for this scheme, along with the alternative 18/0499 five flat building proposal, has taken into account the concerns raised regarding the scale, height and appearance of the flat building refused under 18/0105, in anticipation that one or both applications will now be acceptable.

7.3.3 Principle 7.4 of the Residential Design Guide (RDG SPD) advises that new residential development should reflect the spacing, heights and building footprints of existing buildings. As is the case of the 18/0499 flat proposal, the proposed terrace of three dwellings would be set back between approx. 6.6m – 8.7m from the highway boundary, considerably set back from the existing vacant dwelling. The proximity of the terrace to the side boundaries would be slightly closer - up to approx. 0.9m on the eastern side and approx. 0.8m on the western side. However, these separation distances increase to approx. 1.6m and 1.7m to the front. The proposed streetscene shows that the terrace would be sited approx. 6m from the nearest point of the White Hart Public House to the east and approx. 22m to No. 41 Guildford Road to the west. Given this context, it is considered that the proposed building would not appear cramped within its plot.

7.3.4 The proposed building would be significantly deeper than the detached dwelling of No. 41 Guildford Road to the west and the surrounding semi-detached residential dwellings. However, the building would sit behind the front elevation line of the adjacent public house on the other side, which is of greater overall depth. Although the building would also be of overall greater height than those at either side

mentioned above, the eaves levels would only be marginally higher. Given this and the significant separation distances from these buildings and from the highway as already outlined above, it is considered that the proposed height and depth would not lead to an over-dominant relationship with the surrounding buildings and streetscene, or a discordant plot layout.

- 7.3.5 Principle 7.5 advises that proposals to introduce roof forms on residential development that diverge from the prevailing character of residential development will be resisted, unless it can be demonstrated that the proposals would make a positive contribution to the streetscape. The proposed building would include small front dormer windows with hipped pitched roofs. The proposed external materials would consist of clay roof tiles, face bricks and tile hanging, which would reflect the palette of many of the surrounding buildings. Although the proposed building would contain a crown roof form, given that the proposed building would be wider than it is deeper and would have a strong hipped roof profile, in this instance it is considered that the proposed crown roof would not lead to adverse harm to the character of the surrounding area. It is also noted that the streetscene further to the west surrounding the junction of Gloucester Road contains buildings at 2.5-3 storey in height. The overall scale and traditional design approach and symmetrical roof form is therefore supported as an appropriate response in this location. The imposition of a planning condition removing permitted development rights for additional roof extensions would ensure control over the proposed symmetrical roof form.
- 7.3.6 Principle 6.7 of the RDG SPD advises that parking layouts should be high quality and designed to, *inter alia*, reflect the strong heathland and sylvan identity of the borough, ensure developments are not functionally and visually dominated by cars, and be spaces that are visually and functionally attractive in the street scene. Principle 6.8 further advises that where front of plot parking is proposed, this should be enclosed with soft landscaping and not dominate the appearance of the plot or the street scene with extensive hard surfacing.
- 7.3.7 The current proposed parking area is no longer directly in front of the flat building as there will now be a low brick wall and landscaping hedges along the highway boundary. An additional ecological landscape buffer along the western side boundary with the river bank is also proposed. The proposal is also supported by a Tree Survey Report, Arboricultural Impact Assessment, Method Statement and Tree Protection Plan. The Council's Arboricultural Officer has raised no objection subject to a pre-commencement condition requiring evidence of the implemented tree protection measures as recommended to be sent to the Arboricultural Officer for assessment. It is considered that this layout containing landscaping provisions along the front and side would not lead to an unacceptable prominence of parking in the streetscene. The proposed bin/cycle store would contain a flat roof form adjacent the highway boundary. However, given the scale of the existing disused outbuilding at a similar location, in this instance it is considered that no adverse additional impact upon the surrounding streetscene would arise.
- 7.3.8 Although the overall scale of the proposed terraced building is not significantly less than the 18/0105 refused scheme for five flats, the terrace would be approx. 1.4m shallower and would maintain the same set-back distances from the highway, with appropriate traditional design features and a symmetrical roof form. It is therefore

considered that the proposed terrace would not lead to an unacceptably over-dominant or incongruous addition to the streetscene and would therefore comply with the design requirements of Policy DM9 of the CSDMP and Principle 7.5 of the RDG SPD. It is also considered that the improved landscaping provision along the front boundary would respect the verdant character of the surrounding area, as required Principles 6.7 and 6.8 of the RDG SPD.

#### **7.4 Impact on amenities of neighbouring properties and future occupiers**

- 7.4.1 Policy DM9 (Design Principles) states that the amenities of the occupiers of the neighbouring properties should be respected by proposed development. Principle 8.1 of the RDG states that new residential development should be provided with a reasonable degree of privacy to habitable rooms and sensitive outdoor amenity spaces. Developments which have a significant adverse effect on the privacy of neighbouring properties will be resisted. Paragraph 8.4 further advises that a minimum distance of 20m is a generally accepted guideline for there to be no material loss of privacy between the rear of two storey buildings directly facing each other (i.e. a back to back relationship).

##### Impact on No. 13 Duval Close

- 7.4.2 The proposed terrace building does not include any side dormers or rear balconies facing No. 13 Duval Place. The proposed site plan and cross sections show that the first floor rear elevation windows serving the mid-terrace Unit 2 and the eastern end-terrace Unit 3 would be sited 23.5m from the first floor rear elevation of the semi-detached dwelling of No. 13 Duval Place to the north, and would be sited 20m from the extended ground floor rear elevation of this neighbour. These separation distances would meet the abovementioned SPD guidance in terms of overlooking and are considered sufficient to avoid adverse harm in terms of loss of light or overbearing impact.

##### Impact on No. 41 Guildford Road

- 7.4.3 The proposed terraced building would contain no side elevation windows/balconies facing the front/side garden of the detached dwelling of No. 41 Guildford Road to the west. The separation distance of 25m at an angle to the northwest towards this dwelling is considered sufficient to avoid adverse harm to the amenity in terms of loss of light, outlook or overbearing impact. The pathway along the river bank to the proposed communal rear amenity area has now also been removed, as an improved buffer zone was requested by the Environment Agency.

##### Impact on other neighbours

- 7.4.4. The proposed building also contains no side elevation windows facing the adjacent public house to the east. Given the site orientation and the relationship with the existing application site building, it is considered that no adverse harm would arise upon this neighbour in terms of loss of light, outlook, privacy or overbearing impact.
- 7.4.5 The proposed separation distances to the other semi-detached dwelling immediately to the rear, No. 14 Duval Close (attached to No. 13 but does not have a rear extension) would be approx. 22.7m to its ground floor and approx. 24m to its first floor.

These distances are considered sufficient to avoid adverse harm in terms of loss of privacy, light or overbearing impact.

- 7.4.6 The proposed front elevation windows would be sited approx. 31m from the front elevations of the semi-detached dwellings of Nos. 30 and 32 Bagshot Green, facing the opposite side of Guildford Road. These distances are considered sufficient to avoid adverse harm in terms of loss of privacy, light or overbearing impact. The proposal as a whole would be sited at sufficient distance from other neighbouring boundaries and elevations to avoid material harm to amenity.

#### Amenities of future occupiers

- 7.4.7 The proposed dwellings would each be provided with private gardens stated on the site plan as having areas ranging from 40 sq m – 50 sq m. Although these garden areas would be less than the 65 sq m minimum area set out under the RDG SPD guidance and include the dense ecological buffer zone along the river bank, in this instance the garden sizes are considered to be adequate for the proposed three bedroom dwellings, as they would be well-enclosed and would also benefit from a riverside setting. The imposition of a planning condition removing permitted development rights for additional extensions and outbuildings would ensure that both the rear garden areas and surrounding buffer zone would be protected. The overall floorspace and storage provision for each flat would meet the requirements as set out in the national minimum space standards and it is also considered that future occupiers would be afforded with sufficient outlook.

### **7.5 Impact on highway safety**

- 7.5.1 Policy DM11 (Traffic Management and Highway Safety) states that development which would adversely impact the safe and efficient flow of traffic movement on the highway network will not be permitted unless it can be demonstrated that measures to reduce and mitigate such impacts to acceptable levels can be implemented.
- 7.5.2 The proposal would involve the provision of a total of four off-street parking spaces for the three dwellings and a revised vehicular off Guildford Road. Cycle parking spaces would be accommodated within a separate enclosed building to the front. The proposed development would be accessed via a well-used route linking the A30 to the A322 and M3. Although the County Highway Authority (CHA) parking guidance recommends a maximum up to two parking spaces for 3-bed dwellings in suburban or village locations, the CHA has not objected on safety, capacity or policy grounds, subject to conditions, commenting that it is not considered that the proposal will give rise to any significant highway issues.
- 7.5.3 The proposed provision of one parking space per three-bed dwelling is considered sufficient given their location in a settlement area. The Local Planning Authority is therefore satisfied that the proposal would not conflict with the aims of Policy DM11.

### **7.6 Impact on ecology**

- 7.6.1 A Preliminary Ecological Appraisal has been provided, which identified Building B1 as having high potential to support roosting bats, a legally protected species. Surrey Wildlife Trust (SWT) raised objection as further bat surveys were required.

A Bat Survey/Re-entry Survey Report was subsequently provided. SWT has now raised no objection subject to compliance with the lighting and ecological enhancement recommendations of the Bat Survey Report, which can be secured through a planning condition. Subject to this condition, it is considered that the third reason for refusal of 18/0105 has been overcome.

## **7.7 Impact on local infrastructure**

7.7.1 Policy CP12 states that the Borough Council will ensure that sufficient physical, social and community infrastructure is provided to support development and that contributions in the longer term will be through the CIL Charging Schedule. Paragraph 153 of the NPPF states that supplementary planning documents should be used where they can aid infrastructure delivery. The Council's Infrastructure Delivery SPD was adopted in 2014 and sets out the likely infrastructure required to deliver development and the Council's approach to Infrastructure Delivery.

7.9.2 Surrey Heath's Community Infrastructure Levy (CIL) Charging Schedule was adopted by Full Council on 16 July 2014. As the CIL Charging Schedule came into effect on 01 December 2014, an assessment of CIL liability has been undertaken. Surrey Heath charges CIL on residential developments involving one or more new dwellings through new build. As the proposal includes five new dwellings, the development is CIL liable. CIL is a land charge that is payable at commencement of works should permission be granted on appeal. An informative advising of this would be added.

## **7.8 Impact on Thames Basin Heaths SPA**

7.8.1 The Thames Basin Heaths Special Protection Area Avoidance Strategy SPD 2012 states that no new residential development is permitted within 400m of the SPA. The application site is not within 400m of the SPA but all new development is required to either provide SANG on site (for larger proposals) or for smaller proposals such as this one, provided that sufficient SANG is available and can be allocated to the development, a financial contribution towards SANG provided, which is now collected as part of CIL. There is currently sufficient SANG available.

7.8.2 In addition to the financial contribution towards the mitigation on likely effects of the proposed development on the TBH SPA in terms of SANG, Policy CP14B requires that all new residential development contributes toward SANG (Strategic Access Management and Monitoring) measures. As this is not included within CIL, a separate financial contribution towards SANG is required. In this instance a payment of £1,974 is needed. This has been paid by the applicant.

## **7.9 Other matters**

7.9.1 The application site is mainly within Flood Zone 2, with parts of the site adjacent the Windle Brook (designated by the Environment Agency as a main river) within Flood Zone 3. Only the proposed bike and bin storage would be located within Flood Zone 3. A Flood Risk Assessment has been provided, which concludes that the risk of flooding from these sources can be managed so additional flood resistance and resilience measures are therefore not required. Following discussions between the applicant and the EA, an amended proposed site plan and cross-section plan was submitted to relocate the hard path away from the

water course, remove the concrete retaining wall to the rear (to be replaced by a planted slope at 1:3 gradient to enhance the immediate environment), and to provide a landscape buffer zone along the river bank, predominantly of native species. The EA has now raised no objection, subject to a planning conditions requiring additional information to outline the provision and management of the buffer zone, and compliance with the flood risk assessment.

- 7.9.2 A Contaminated Land Phase 1 Desktop Study Report has been provided which includes potential sources of contamination. Under the 18/0105 application, the Council's Scientific Officer raised no objection to the proposal, subject to a planning condition requiring a contaminated land desk survey, site investigation and subsequent remediation action plan, discovery strategy and verification report to demonstrate that the agreed remediation has been carried out.
- 7.9.3 Paragraph 63 of the revised NPPF states that the provision of affordable housing should not be sought for residential developments that are not major developments (ten or more dwellings or sites of 0.5 hectare or more). This is a material planning consideration in the determination of planning applications. On the basis of this Officers are of the opinion that no financial contribution in lieu of affordable housing can be sought for this development.
- 7.9.4 Any development proposal for new residential development attracting New Homes Bonus payments as set out in Section 70 of the Town and Country Planning Act (as amended by Section 143 of the Localism Act) is a local financial consideration which must be taken into account, as far as they are material to an application, in reaching a decision. Whilst the implementation and completion of the development will result in a local financial benefit, it has however been concluded that this proposal does not accord with the Development Plan as it would give rise to significant harm that would not be outweighed by the above financial consideration.

## **8.0 CONCLUSION**

- 8.1 The proposed terrace of three dwellings would not lead to an unacceptably over-dominant or incongruous addition to the streetscene, a cramped appearance or unacceptable harm to amenity. The proposal has the support of the County Highway Authority, the Environment Agency, Surrey Wildlife Trust and the Council's Scientific Officer and Arboricultural Officer. The application is therefore recommended for approval.

## **9.0 WORKING IN A POSITIVE/PROACTIVE MANNER**

- 9.1 In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 38-41 of the NPPF. This included:
- a) Provided or made available pre application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development;

- b) Provided feedback through the validation process including information on the website, to correct identified problems to ensure that the application was correct and could be registered.

## 10.0 RECOMMENDATION

GRANT subject to the following conditions:-

1. The development hereby permitted shall be begun within three years of the date of this permission.

Reason: To prevent an accumulation of unimplemented planning permissions and in accordance with Section 91 of the Town and Country Planning Act 1990 as amended by Section 51(1) of the Planning and Compulsory Purchase Act 2004.

2. The proposed development shall be built in accordance with the following approved plans:

Proposed site plan (Drawing No. 4963 3 32 Rev C); Proposed elevations (Drawing No. 4963 3 34 Rev A); Proposed floor plans and roof plan (Drawing No. 4963 3 33 Rev B); Proposed street elevation, site section and bin/cycle store elevations (Drawing No. 4963 3 35 Rev A) - all received on 18 October 2018, unless the prior written approval has been obtained from the Local Planning Authority.

Reason: For the avoidance of doubt and in the interest of proper planning and as advised in ID.17a of the Planning Practice Guidance.

3. No development shall take place until details and samples of the external materials to be used shall be submitted to and approved in writing by the Local Planning Authority. Materials to be agreed will include the proposed brick, tile and fenestration. Once approved, the development shall be carried out using only the agreed materials.

Reason: In the interests of visual amenities of the area and to accord with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

4. The development hereby permitted shall be carried out wholly in accordance with the submitted Arboricultural Report and Method Statement prepared by PJC Consultancy [Peter Davies] and dated 05 June 2018. No development shall commence until digital photographs have been provided by the retained Consultant and forwarded to and approved by the Council's Arboricultural Officer. This should record all aspects of any facilitation tree works and the physical tree and ground protection measures having been implemented and maintained in accordance with the Arboricultural Report.

The tree protection measures shall be retained until completion of all works hereby permitted.

Reason: To preserve and enhance the visual amenities of the locality in accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

5. No development shall take place until full details of both hard and soft landscaping works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved, and implemented prior to first occupation. The submitted details should also include an indication of all level alterations, hard surfaces, walls, fences, access features, the existing trees and hedges to be retained, together with the new planting to be carried out and shall build upon the aims and objectives of the supplied **BS5837:2012 – Trees in Relation to Design, Demolition and Construction** Arboricultural Method Statement [AMS]. All plant material shall conform to **BS3936:1992 Parts 1 – 5: Specification for Nursery Stock**. Handling, planting and establishment of trees shall be in accordance with **BS 8545:2014 Trees: from nursery to independence in the landscape**

Reason: To preserve and enhance the visual amenities of the locality in accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

6. All hard and soft landscaping works shall be carried out in accordance with the approved details. Arboricultural work to existing trees shall be carried out prior to the commencement of any other development; otherwise all remaining landscaping work and new planting shall be carried out prior to the occupation of the development or in accordance with a timetable agreed in writing with the Local Planning Authority. Any trees or plants, which within a period of five years of commencement of any works in pursuance of the development die, are removed, or become seriously damaged or diseased shall be replaced as soon as practicable with others of similar size and species, following consultation with the Local Planning Authority, unless the Local Planning Authority gives written consent to any variation.

Reason: To preserve and enhance the visual amenities of the locality in accordance with Policy DM9 of the Surrey Heath Core Strategy and Development Management Policies 2012.

7. No development shall take place until a scheme for the provision and management of a buffer zone alongside the Windle Brook, as shown on the proposed site plan (Drawing No. 4963 3 32 Rev C received on 22 November 2018), has been submitted to and agreed in writing by the local planning authority. The buffer zone shall be a minimum of 3.5m wide along the site's northern boundary and a minimum of 1m wide along the western boundary. Thereafter the development shall be carried out in accordance with the approved scheme and any subsequent amendments shall be agreed in writing with the local planning authority. The buffer zone scheme shall be free from built development including lighting, domestic gardens

and formal landscaping; and should form a vital part of green infrastructure provision. The scheme shall include:

- Plans showing the extent and layout of the buffer zone in relation to the rest of the site.
- Details of the proposed planting scheme, which should enhance the site for wildlife. The planting scheme should aim to create a mosaic of shaded and more open areas and should consist of a mix of native (of local provenance) trees and shrubs along the top of the bank and marginal planting along the slope of the re-profiled banks. The Communal Amenity Space should also be sown with a native wildflower mix.
- Details demonstrating how the Windle Brook will be protected during development, giving particular consideration to pollution prevention measures.
- Details demonstrating how the Windle Brook buffer zone will be managed/maintained over the longer term to enhance its value for wildlife. This should include adequate financial provision and named body responsible for management plus production of detailed management plan (i.e. establishment and maintenance regimes for each habitat to be retained/created). Management should aim to create a zone of natural character with vegetation that gives rise to a range of conditions of light and shade in the watercourse itself.
- Details of fencing to protect the buffer zone. This should have a wildlife friendly design (e.g. post and rail fencing) that allows species such as hedgehogs to pass through/under it whilst preventing residents from managing the buffer as an extended garden. The fencing should have a gate installed to enable access for management of the buffer zone.
- Details of any ecological enhancements, e.g. the provision of bat/bird boxes within the new building.

Reason: Land alongside watercourses is particularly valuable as a corridor for wildlife. This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site in line with national planning policy, to accord with Policy CP14 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

8. No development shall take place until a scheme for the provision and management of compensatory habitat creation has been submitted to and agreed in writing by the local planning authority and implemented as approved. Thereafter the development shall be implemented in accordance with the approved scheme. Detailed existing and proposed cross section and plan view drawings (showing dimensions) will be required to support this scheme.

These should be based on the details provided in the proposed site plan (Drawing No. 4963 3 32 Rev C received on 22 November 2018).

Reason: Land alongside watercourses is particularly valuable as a corridor for wildlife. This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site in line with national planning policy, to accord with Policy CP14 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

9. The development permitted by this planning permission shall be carried out in accordance with the Flood Risk Assessment, prepared by Dr Paul Garrad, dated 21 May 2018, and the following mitigation measures:

- Finished floor levels are set no lower than 54.95 metres above Ordnance Datum.

The mitigation measure(s) shall be fully implemented prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason: This condition is sought in accordance with paragraph 163 of the National Planning Policy Framework to reduce the risk of flooding on-site and elsewhere. In particular, to reduce the risk of flooding to the proposed development and future occupants.

10. The development hereby approved shall be undertaken in accordance with the mitigation and enhancement recommendations in Paragraphs 4.1.6 and 5.1.1 of the submitted Bat Emergence/Re-entry Survey Report [PJC Consultancy, dated July 2018].

Reason: To ensure the protection of protected species in accordance with Policy CP14 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

11. The development hereby approved shall not be first occupied unless and until the proposed vehicular access to Guildford Road has been constructed in accordance with the proposed site plan (Drawing No. 4963 3 32 Rev C - received on 22 November 2018), and thereafter shall be permanently maintained.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

12. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with Drawing No. 4963 3 32 Rev C, for vehicles and cycles to be parked and for vehicles to

turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

13. The development hereby approved shall not be first occupied unless and until existing access from the site to Guildford Road has been permanently closed and any kerbs, verge, footway, fully reinstated.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

14. The development hereby approved shall not be occupied unless and until each of the proposed dwellings are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply), in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

15. No development shall take place until a Method of Construction Statement, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) loading and unloading of plant and materials
- (c) storage of plant and materials
- (d) measures to prevent the deposit of materials on the highway

has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction period.

Reason: The condition above is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with Policies CP11 and DM11 of the Surrey

Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

16. (i) The development hereby approved shall not begin until a scheme to deal with contamination of the site has been submitted to and approved in writing by the Local Planning Authority.  
(ii) The above scheme shall include :-
- (a) a contaminated land desk study and suggested site assessment methodology;
  - (b) a site investigation report based upon (a);
  - (c) a remediation action plan based upon (a) and (b);
  - (d) a "discovery strategy" dealing with unforeseen contamination discovered during construction;
  - (e) a "validation strategy" identifying measures to validate the works undertaken as a result of (c), and d), and;
  - (f) a verification report appended with substantiating evidence demonstrating the agreed remediation has been carried out
- (iii) Unless otherwise agreed in writing by the Local Planning Authority, the development shall be carried out and completed wholly in accordance with such details as may be agreed.

Reason: To ensure that a satisfactory strategy is put in place for addressing contaminated land, making the land suitable for the development hereby approved without resulting in risk to construction workers, future users of the land, occupiers of nearby land and the environment generally in accordance with Policies CP2 and DM9 of the Surrey Heath Core Strategy and Development Management Policies Document 2012 and the National Planning Policy Framework.

17. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking and re-enacting that Order), no further extensions to the dwellings hereby approved or additions to their roofs shall be erected under Schedule 2, Part 1, Class A or Class B of that Order; and no buildings, enclosures, pools or containers incidental to the enjoyment of a dwelling house shall be erected under Schedule 2, Part 1, Class E of that Order; without the prior approval in writing of the Local Planning Authority.

Reason: To enable the Local Planning Authority to retain control over the buffer zone alongside the Windle Brook and the enlargement, improvement or other alterations to the development, in the interests of the ecological value of the site and visual and residential amenity, to accord with Policies CP14, DM9 and DM10 of the Surrey Heath Core Strategy and Development Management Policies 2012 and the National Planning Policy Framework.

#### Informative(s)

1. Decision Notice to be kept DS1

2. Environmental Permit

This development will require an Environmental Permit from the Environment Agency under the terms of the Environmental Permitting (England and Wales) (Amendment) (No. 2) Regulations 2016 for any proposed works or structures, in, under, over or within 8 metres of the top of the bank of designated 'main rivers'. This was formerly called a Flood Defence Consent. Some activities are also now excluded or exempt. An environmental permit is in addition to and a separate process from obtaining planning permission. Further details and guidance are available on the GOV.UK

website: <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits>

3. Highway Informatives

The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that prior approval must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, or verge to form a vehicle crossover or to install dropped kerbs. Please see [www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs](http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs).

When a temporary access is approved or an access is to be closed as a condition of planning permission an agreement with, or licence issued by, the Highway Authority Local Highways Service will require that the redundant dropped kerb be raised and any verge or footway crossing be reinstated to conform with the existing adjoining surfaces at the developers expense.

The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.

It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to

<http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for

guidance and further information on charging modes and connector types.

The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the

Highway Authority Local Highways Service.

The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

4. For the avoidance of doubt, the following definitions apply to the above condition (No: 16) relating to contaminated land:

Desk study- This will include: -

- (i) a detailed assessment of the history of the site and its uses based upon all available information including the historic Ordnance Survey and any ownership records associated with the deeds.
- (ii) a detailed methodology for assessing and investigating the site for the existence of any form of contamination which is considered likely to be present on or under the land based upon the desk study.

Site Investigation Report: This will include: -

- (i) a relevant site investigation including the results of all sub-surface soil, gas and groundwater sampling taken at such points and to such depth as the Local Planning Authority may stipulate.
- (ii) a risk assessment based upon any contamination discovered and any receptors.

Remediation action plan: This plan shall include details of: -

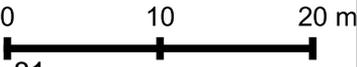
- (i) all contamination on the site which might impact upon construction workers, future occupiers and the surrounding environment;
- (ii) appropriate works to neutralise and make harmless any risk from contamination identified in (i)

Discovery strategy: Care should be taken during excavation or working of the site to investigate any soils which appear by eye or odour to be contaminated or of different character to those analysed. The strategy shall include details of: -

- (i) supervision and documentation of the remediation and construction works to ensure that they are carried out in accordance with the agreed details;
- (ii) a procedure for identifying, assessing and neutralising any unforeseen contamination discovered during the course of construction;
- (iii) a procedure for reporting to the Local Planning Authority any unforeseen contamination.

5. CIL Liable CIL1

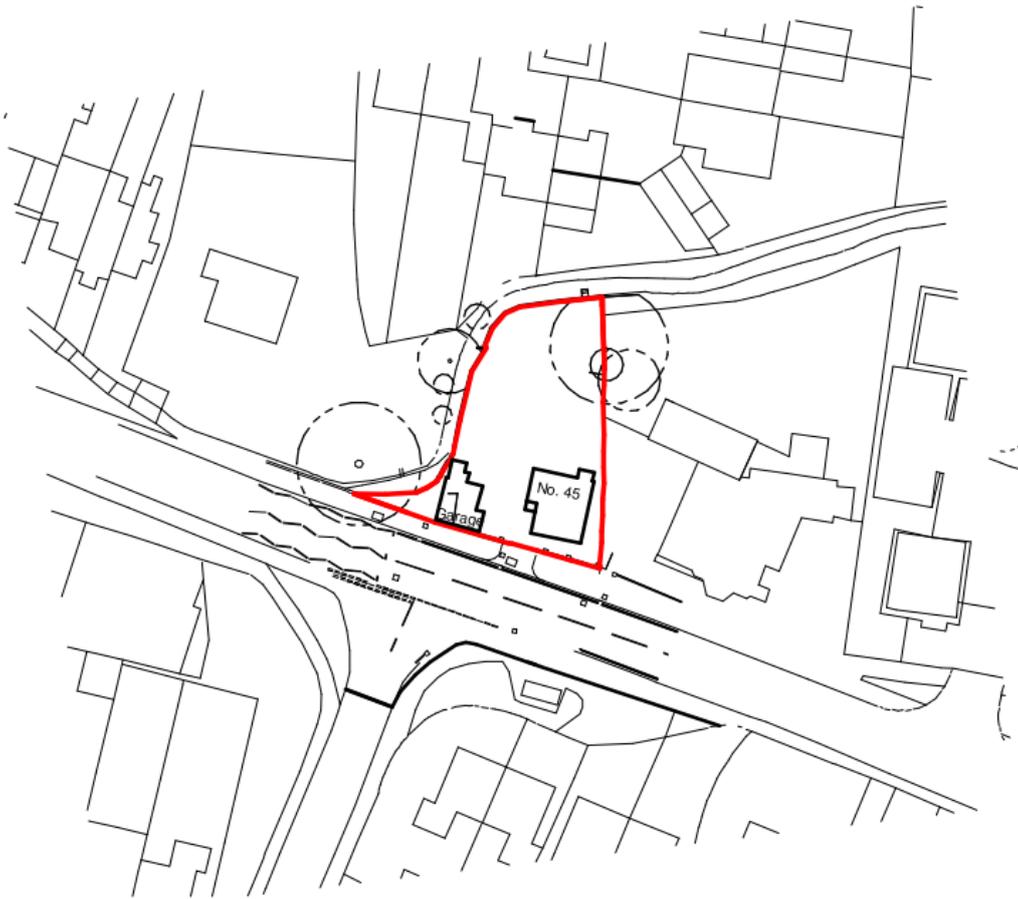


<b>Title</b>	Planning Applications		
<b>Application number</b>	18/0513	<b>Scale @ A4</b>	1:500
<b>Address</b>	45 GUILDFORD ROAD, BAGSHOT, GU19 5JW	<b>Date</b>	11 Dec 2018
<b>Proposal</b>	Terrace of three two-storey dwellings including front dormers following demolition of existing dwelling and outbuildings, with revised vehicular access from guildford road, bin/cycle storage, landscaping and parking area.		  Page 81
			
Version 4      © Crown Copyright. All rights reserved. Surrey Heath Borough Council 100018679 2018      Author: DE			

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18/0513 - 45 GUILDFORD ROAD, BAGSHOT, GU19 5JW

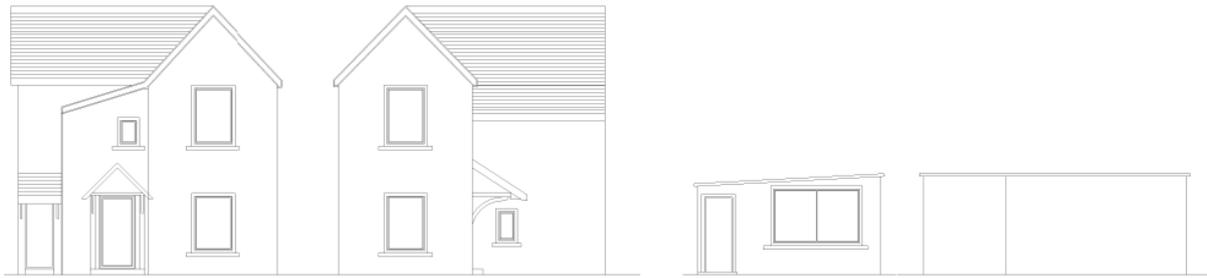
Location Plan



Existing site plan



## Existing elevations



① **House South Elevation**  
1:50

② **House West Elevation**  
1:50

⑤ **Garage South Elevation**  
1:50

⑥ **Garage West Elevation**  
1:50



③ **House North Elevation**  
1:50

④ **House East Elevation**  
1:50

⑦ **Garage North Elevation**  
1:50

⑧ **Garage East Elevation**  
1:50

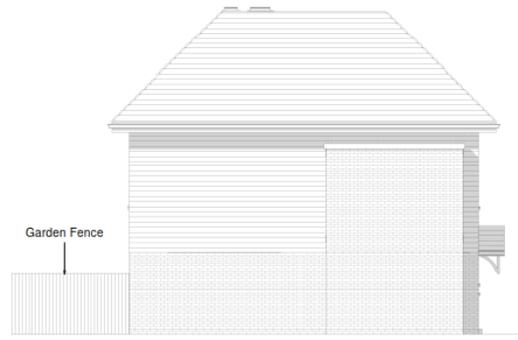
## Proposed site plan



## Proposed elevations



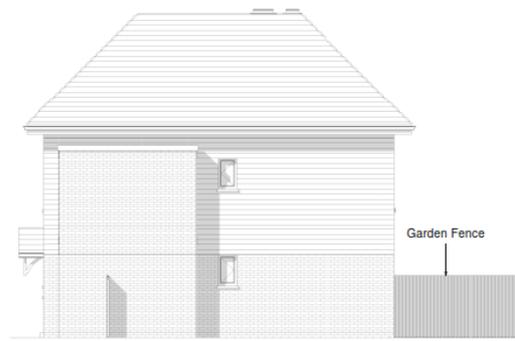
1 South Elevation  
1:50



3 West Elevation  
1:50

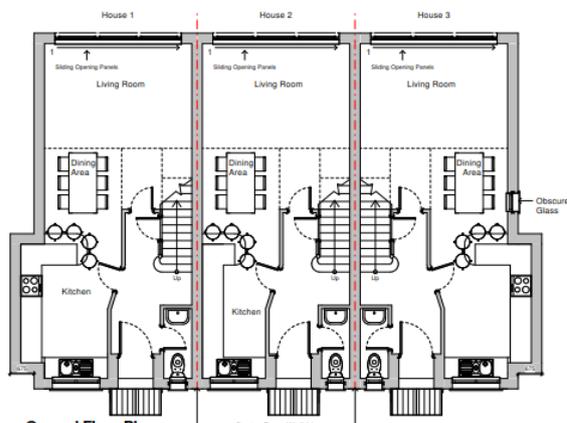


2 North Elevation  
1:50

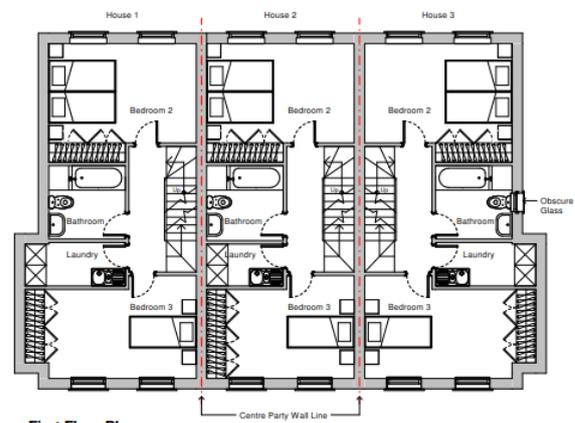


4 East Elevation  
1:50

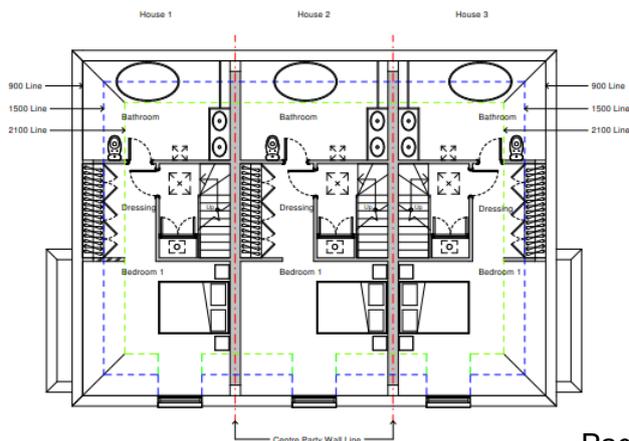
## Proposed floor plans and roof plan



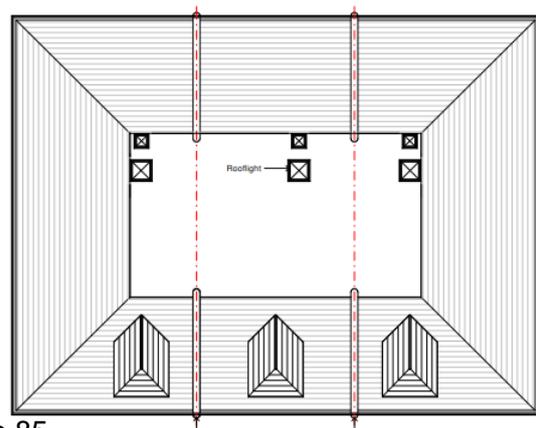
1 Ground Floor Plan  
1:50



2 First Floor Plan  
1:50



3 Second Floor Plan  
1:50

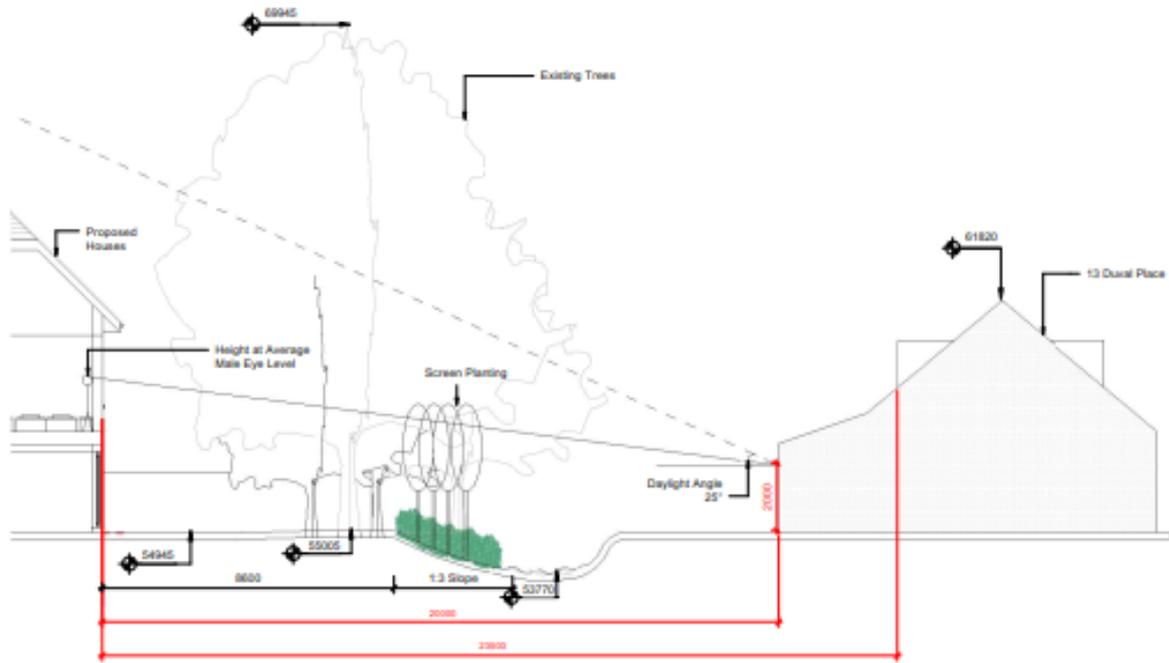


4 Roof Plan  
1:50

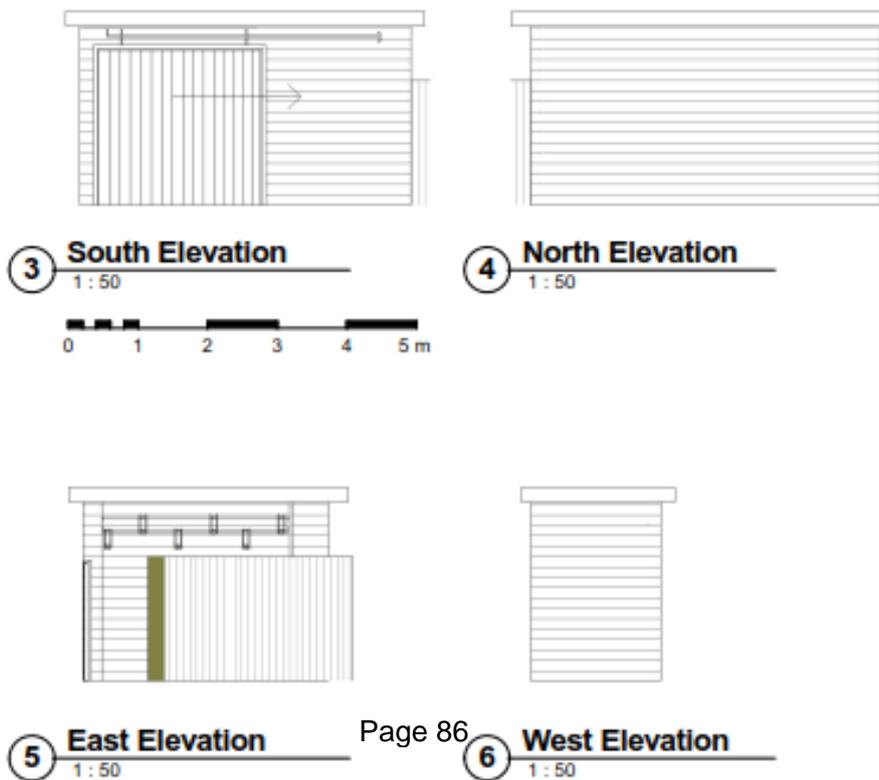
Proposed streetscene



Proposed rear section



Proposed bin/cycle store elevations



Site photos

Existing buildings



Streetscene facing northeast



Facing northwest



Facing southwest



Junction with Bagshot Green opposite



Rear boundary with Duval Close



Side boundary with No. 41 Guildford Road



**APPLICATIONS FOR PLANNING PERMISSION & RELATED APPLICATIONS FOR  
CONSIDERATION BY THE PLANNING APPLICATIONS COMMITTEE**

**NOTES**

**Officers Report**

Officers have prepared a report for each planning or related application on the Planning Committee Index which details:-

- Site Description
- Relevant Planning History
- The Proposal
- Consultation Responses/Representations
- Planning Considerations
- Conclusion

Each report also includes a recommendation to either approve or refuse the application. Recommended reason(s) for refusal or condition(s) of approval and reason(s) including informatives are set out in full in the report.

**How the Committee makes a decision:**

The Planning Applications Committee's decision on an application can be based only on planning issues. These include:

- Legislation, including national planning policy guidance and statements.
- Policies in the adopted Surrey Heath Local Plan and emerging Local Development Framework, including Supplementary Planning Documents.
- Sustainability issues.
- Layout and design issues, including the effect on the street or area (but not loss of private views).
- Impacts on countryside openness.
- Effect on residential amenities, through loss of light, overlooking or noise disturbance.
- Road safety and traffic issues.
- Impacts on historic buildings.
- Public opinion, where it raises relevant planning issues.

**The Committee cannot base decisions on:**

- Matters controlled through other legislation, such as Building Regulations e.g. structural stability, fire precautions.
- Loss of property value.
- Loss of views across adjoining land.
- Disturbance from construction work.
- Competition e.g. from a similar retailer or business.
- Moral issues.
- Need for development or perceived lack of a need (unless specified in the report).
- Private issues between neighbours i.e. boundary disputes, private rights of way. The issue of covenants has no role in the decision to be made on planning applications.

**Reports will often refer to specific use classes. The Town & Country Planning (Use Classes) Order 1995** (as amended) is summarised for information below:

<b>A1. Shops</b>	Shops, retail warehouses, hairdressers, undertakers, travel and ticket agencies, post offices, pet shops, sandwich bars, showrooms, domestic hire shops and funeral directors.
<b>A2. Financial &amp; professional Services</b>	Banks, building societies, estate and employment agencies, professional and financial services and betting offices.
<b>A3. Restaurants and Cafes</b>	For the sale of food and drink for consumption on the premises – restaurants, snack bars and cafes.
<b>A4. Drinking Establishments</b>	Public houses, wine bars or other drinking establishments (but not nightclubs).
<b>A5. Hot Food Takeaways</b>	For the sale of hot food consumption off the premises.
<b>B1. Business</b>	Offices, research and development, light industry appropriate to a residential area.
<b>B2. General Industrial</b>	Use for the carrying on of an industrial process other than one falling within class B1 above.
<b>B8. Storage or Distribution</b>	Use for the storage or as a distribution centre including open air storage.
<b>C1. Hotels</b>	Hotels, board and guest houses where, in each case no significant element of care is provided.
<b>C2. Residential Institutions</b>	Residential care homes, hospitals, nursing homes, boarding schools, residential colleges and training centres.
<b>C2A. Secure Residential Institutions</b>	Use for a provision of secure residential accommodation, including use as a prison, young offenders institution, detention centre, secure training centre, custody centre, short term holding centre, secure hospital, secure local authority accommodation or use as a military barracks.
<b>C3. Dwelling houses</b>	Family houses or houses occupied by up to six residents living together as a single household, including a household where care is provided for residents.
<b>C4. Houses in Multiple Occupation</b>	Small shared dwelling houses occupied by between three and six unrelated individuals, as their only or main residence, who share basic amenities such as a kitchen or bathroom.
<b>D1. Non-residential Institutions</b>	Clinics, health centres, crèches, day nurseries, day centres, school, art galleries, museums, libraries, halls, places of worship, church halls, law courts. Non-residential education and training areas.
<b>D2. Assembly &amp; Leisure</b>	Cinemas, music and concert halls, bingo and dance halls (but not nightclubs), swimming baths, skating rinks, gymnasiums or sports arenas (except for motor sports, or where firearms are used).
<b>Sui Generis</b>	Theatres, houses in multiple paying occupation, hostels providing no significant element of care, scrap yards, garden centres, petrol filling stations and shops selling and/or displaying motor vehicles, retail warehouse clubs, nightclubs, laundrettes, dry cleaners, taxi businesses, amusement centres and casinos.